



01 AERIAL PHOTO

DRAWING REGISTER

PAGE NO.	TITLE	CURRENT REVISION	DATE ISSUED
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	SITE & LOCATION		
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A.00.03	PLAN: Site (Proposed)	A	16/11/2016
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A.02.08	ELEVATIONS: 07 (STH Front Fence)	A	16/11/2016
A.02.09	SECTIONS: A-A + B-B (Long.)	A	16/11/2016
A.02.10	SECTIONS: C-C + D-D (Transv.)	A	16/11/2016
	VIEW ANALYSIS		
A.03.01	VIEW ANALYSIS: 01-02-03_Nurran Rd	A	16/11/2016
A.03.02	VIEW ANALYSIS: 04-05_from balconies no.28 Cooling Rd	A	16/11/2016
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	VIEW ANALYSIS: PHOTOMONTAGES		
A.04.01	VIEW ANALYSIS: top of Nurran Rd	A	16/11/2016
A.04.02	VIEW ANALYSIS: middle of Nurran Rd	A	16/11/2016
A.04.03	VIEW ANALYSIS: bottom of Nurran Rd	A	16/11/2016
A.04.04	VIEW ANALYSIS: from first floor window at no.28 Cooling Rd	A	16/11/2016
A.05.01	PHOTOMONTAGES	A	16/11/2016

SCHEDULE OF BASIX COMMITMENTS

Water Commitments

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 55000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Swimming pool

The swimming pool must not have a volume greater than 135 kilolitres.

The swimming pool must be shaded.

The swimming pool must be outdoors.

Thermal Comfort Commitments

Simulation Method

Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor

The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

NatHERS Specs

Floor slabs: Concrete.

Exterior walls: Cavity brick + foil in cavity, or wall system similar in R-value (at least R0.96)

Modelled with default medium finishes

Rating includes construction materials

Glazing: Single clear glass modelled to window, door and skylight glazing

Type A (U-Value: 6.7, SHGC: 0.57)

Type B (U-Value: 6.7, SHGC: 0.70)

U-Value & SHGC are combined glass and frame figures

Ceiling insulation: - Minimum R2.5 to all ceilings to roof

Roof: Tiled/metal roof (with foil under) and concrete roof, modelled as unventilated (default medium finishes)

Energy Commitments

Hot Water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4.5 stars.

Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.

Alternative energy

The applicant must install a photovoltaic system with the capacity to generate at least 7 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.



02 EXISTING LOCATION PLAN

Scale: 1:1000



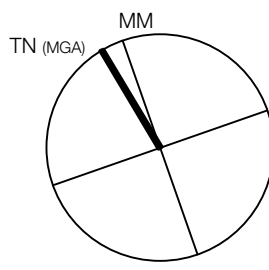
03 PROPOSED LOCATION PLAN

Scale: 1:1000

LEGEND

- Existing boundaries
- Existing buildings
- Swimming pools
- Tennis courts
- refer to View Analysis
- Drawing A.03.01 - A.03.02 - A.03.03
- A.04.01 - A.04.02 - A.04.03 - A.04.04

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1355



DEVELOPMENT APPLICATION

Kameney Residence
13-13A-15-15A Cooling Rd, Vaucluse

COVER PAGE

16th November 2016

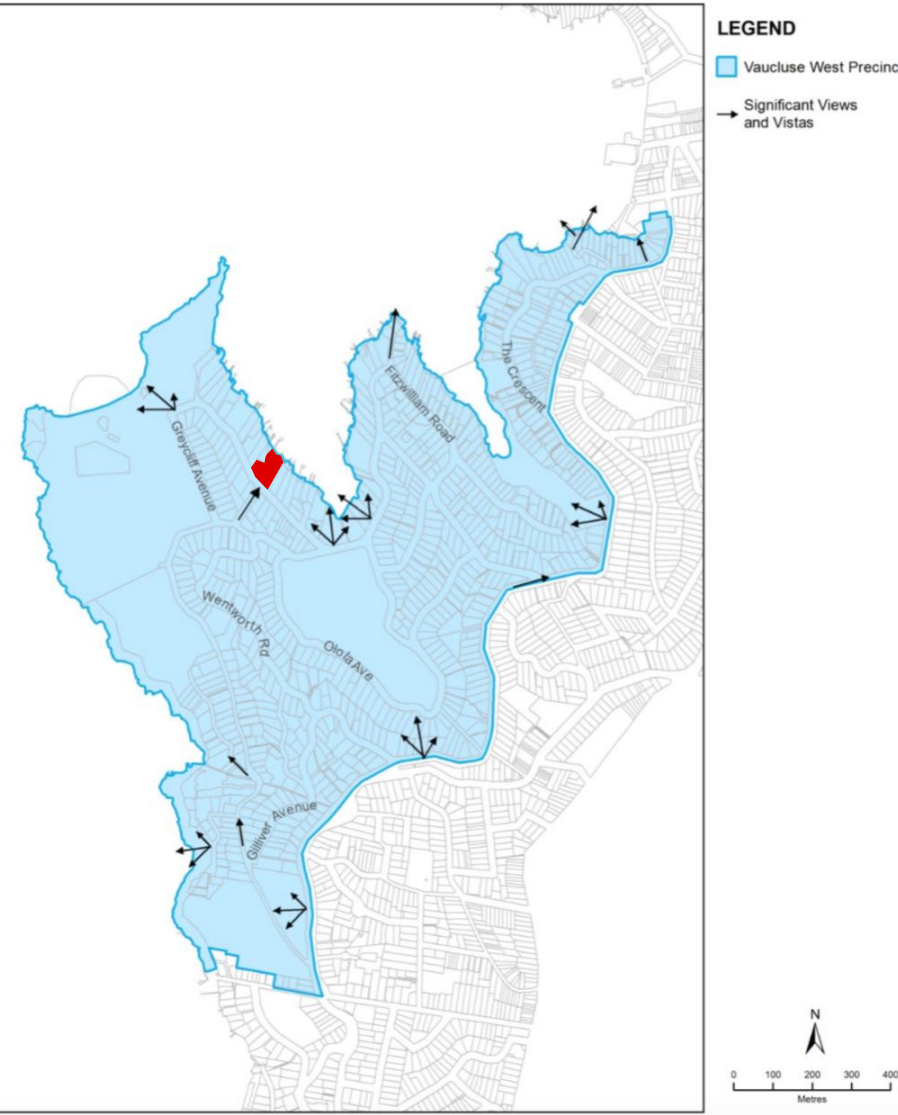
A.00.00

bkh

Sydney
Burrey Kellum Holdings Pty Ltd
1077 Castle Avenue
Parramatta NSW 2151 Australia
Telephone +61 (0) 2 9633 2232
Facsimile +61 (0) 2 9633 2248
Email bkh@bkh.com.au
www.bkh.com.au

New York
BKH New York, Inc.
501 5th Avenue
Suite 902
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6568
Email bkhnewyork@bkh.com.au

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LEGEND

Boundary	Trees	Cross-boundary views: possible privacy concerns
Existing building	Neighbouring boundaries	Summer solar path
Swimming pool	Neighbouring buildings	Winter solar path
Soft landscaping	Views	Prevailing winds
Tennis court	Windows	Vehicular entry
Dense landscaping		Pedestrian entry

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1555

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www.coronaprojects.com.au

Scale
0 1 2 3 4 5 10m

Scale
0 1 2 3 4 5 10m

DEVELOPMENT APPLICATION
Kameney Residence
13-13A-15-15A Coolong Rd, Vaucluse

SITE ANALYSIS : Existing

16th November 2016 **A.00.02**

bkh

Sydney
Burey Kameney Pty Ltd
107 Castle Avenue
Port Macquarie NSW 2444 Australia
Telephone +61 (0) 6960 2333
Facsimile +61 (0) 6960 2348
Email: info@bkh.com.au
www.bkh.com.au

New York
BKH New York, Inc.
201 8th Avenue
Suite 902
New York, NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email: info@bkh.com.au
www.bkh.com.au

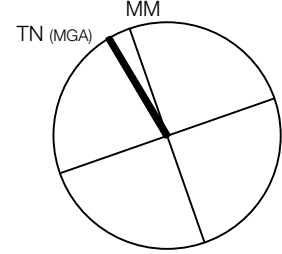
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LEGEND

- Proposed boundary
- Existing buildings
- Proposed building encroaching setback
- Setback

PROJECT MANAGER
Corona Projects Pty Ltd
Ph: 0419 438 956
PO Box 1749 Bondi Junction NSW 1535



DEVELOPMENT APPLICATION
Kamenev Residence
13-13A-15-15A Coolong Rd, Vauluse
PLAN: Proposed Site

SCALE 1:200 @ A1
16th November 2016

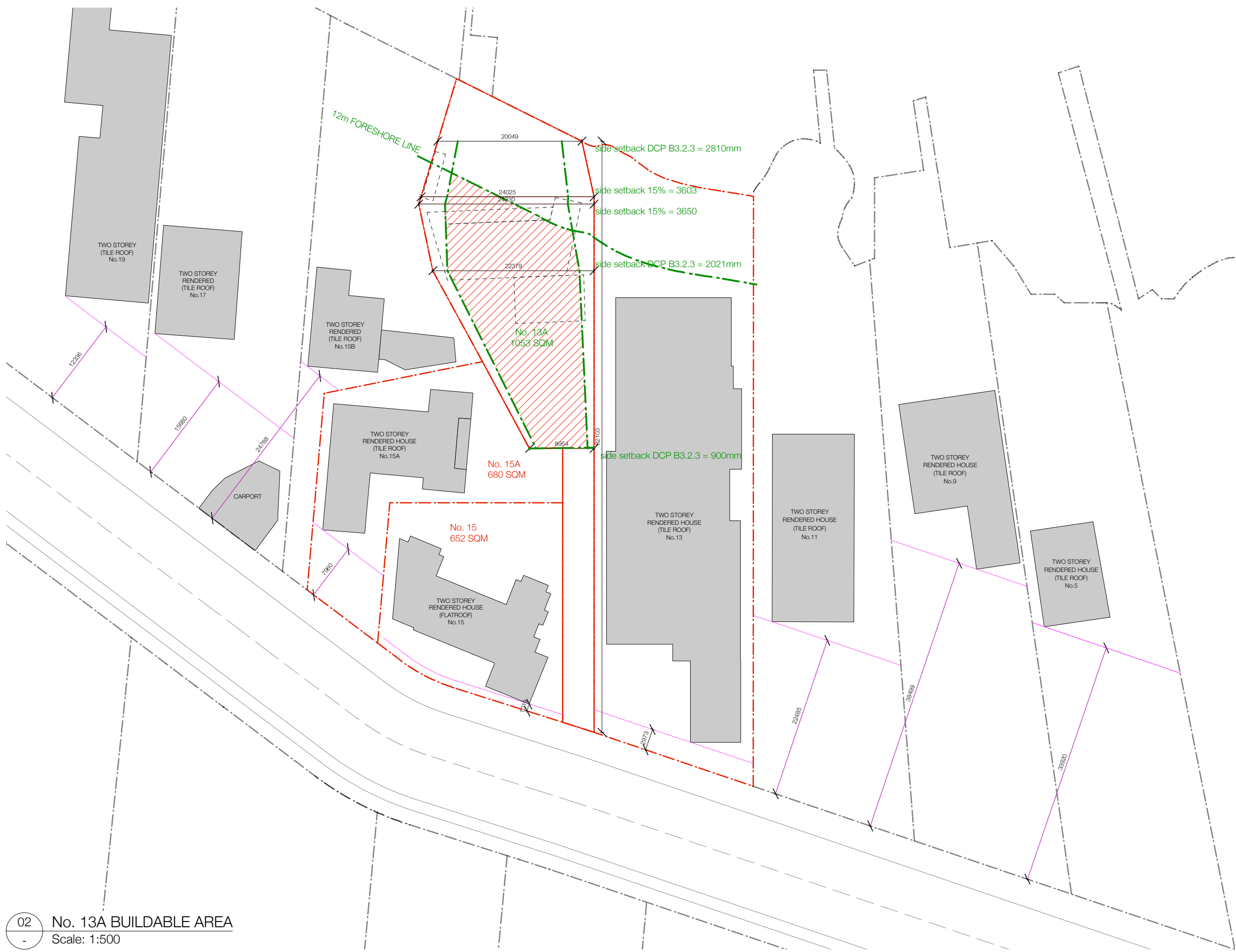
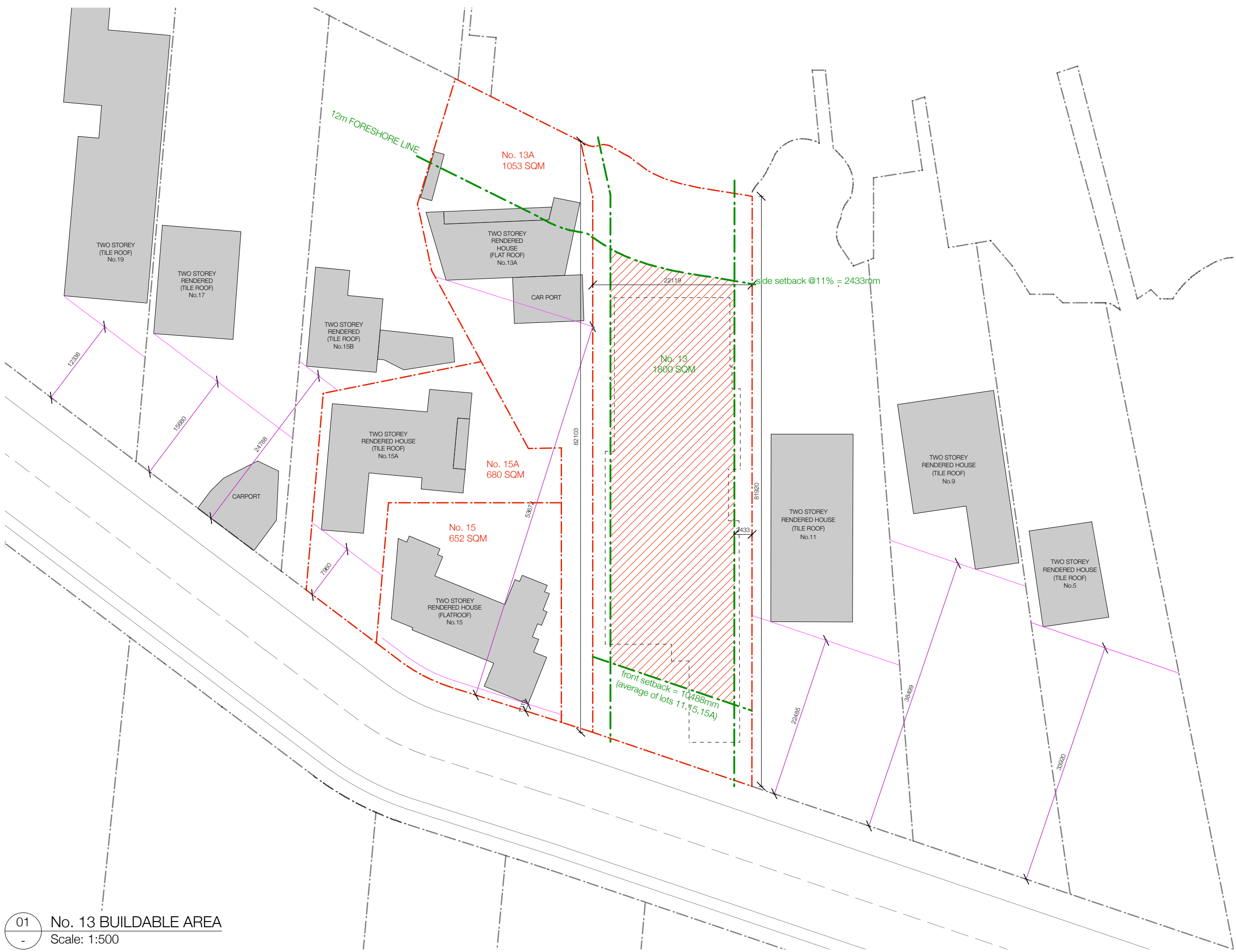
A.00.03

bkh

Sydney
Survey Kaitum Holdings Pty Ltd
1077 Castle Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9552 2333
Facsimile +61 (0) 2 9552 2348
Email bkh@bkh.com.au
www.bkh.com.au

New York
BKH New York, Inc.
501 East Avenue
Suite 920
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email bkhnewyork@bkh.com.au

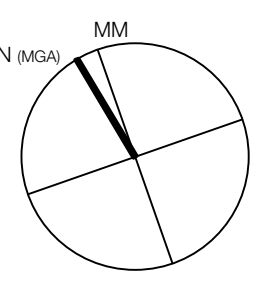
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LEGEND

- Existing boundaries
- Existing buildings
- Demolished building
- Buildable area
- Setback

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Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1355



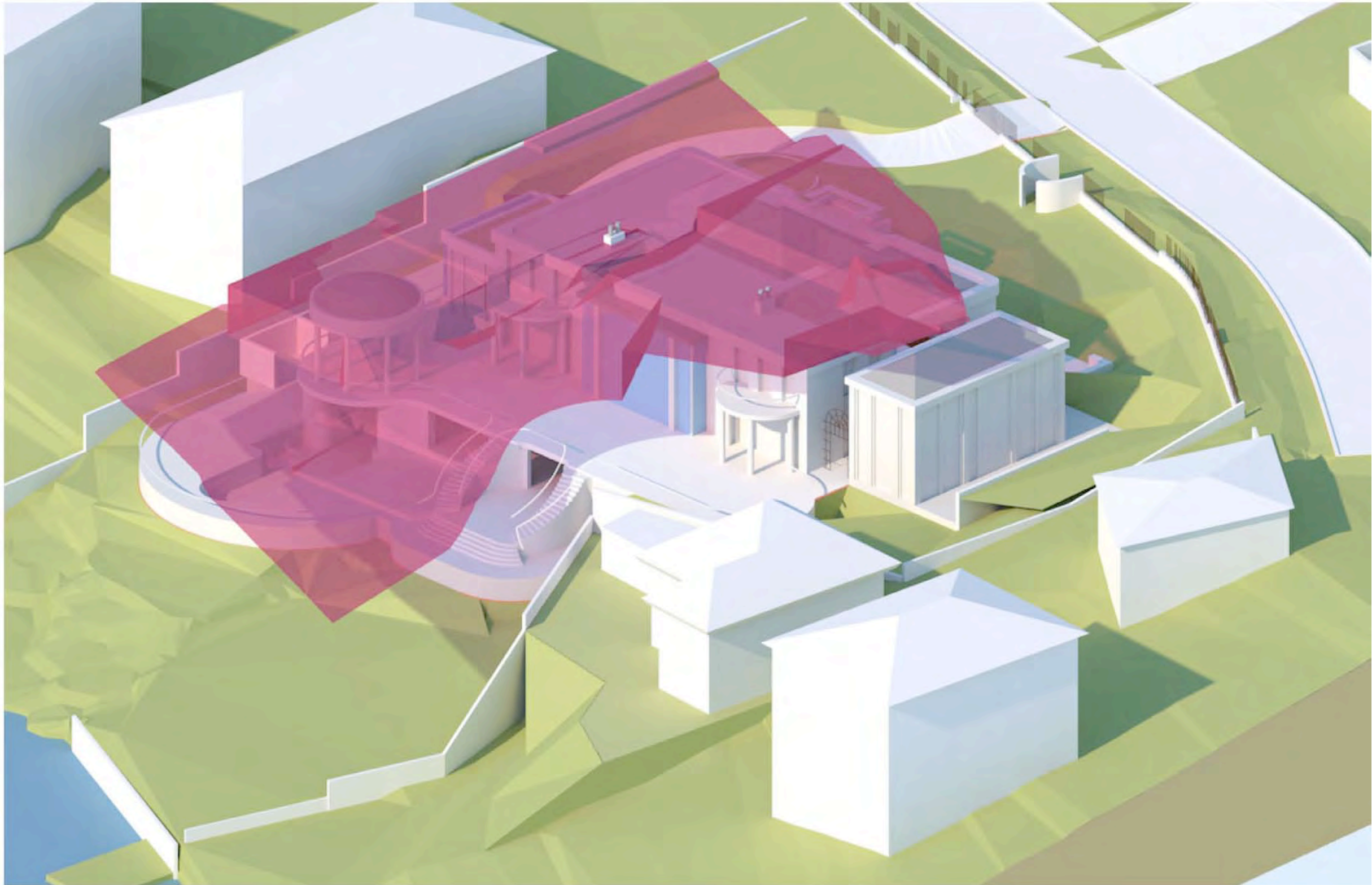
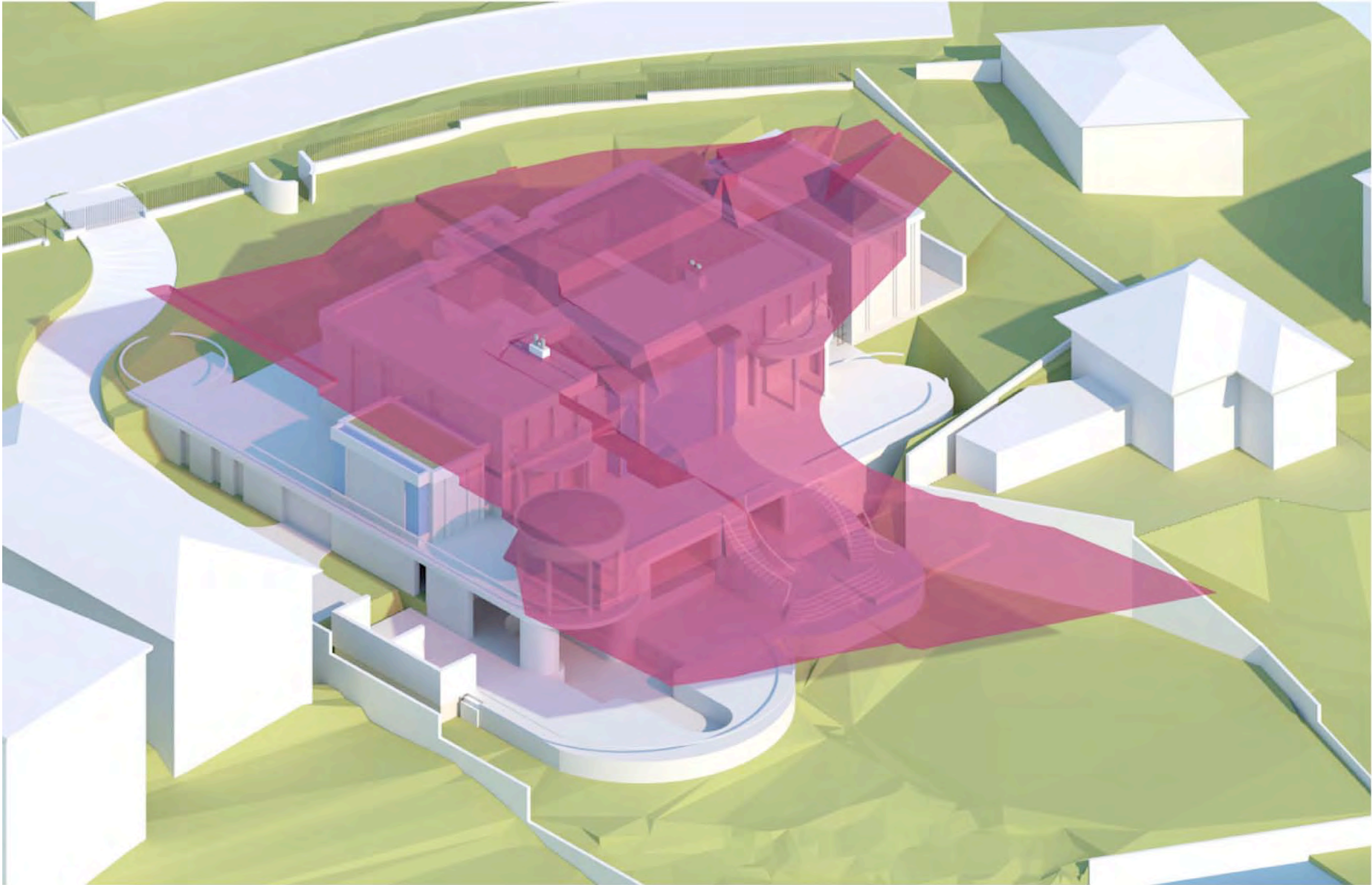
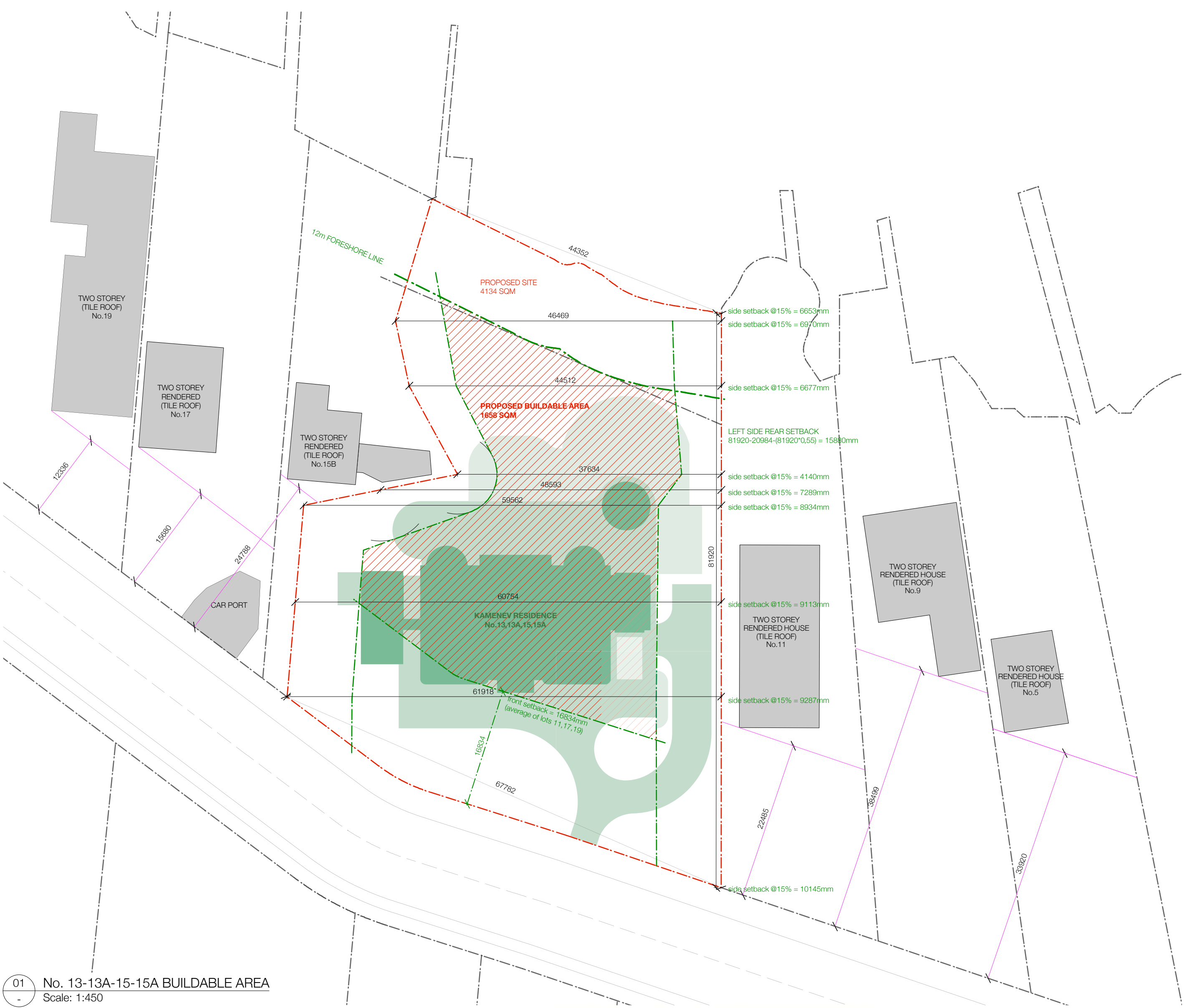
DEVELOPMENT APPLICATION
Kameney Residence
13-13A-15-15A Coolong Rd, Vauluse
PLAN: Buildable Area Original Lots
SCALE 1:500 @ A1
16th November 2016
A.01.01



Sydney
Burey Kameney Pty Ltd
107 Castle Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9552 2333
Facsimile +61 (0) 2 9552 2348
Email bkm@bkm.com.au
www.bkh.com.au

New York
BKH New York, Inc.
501 East Avenue
Suite 920
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email bkmnewyork@bkh.com.au

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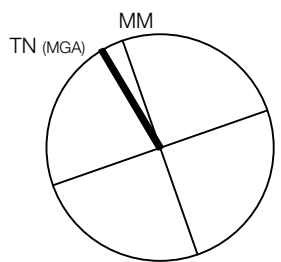


LEGEND

- Proposed boundary
- Existing buildings
- Buildable area
- Setback

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1555

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DEVELOPMENT APPLICATION
Kameney Residence
13-13A-15-15A Coolong Rd, Vauluse

PLAN: Buildable Area Amalgamated
and Height Plane at 9.5 m

SCALE 1:450 @ A1
16th November 2016

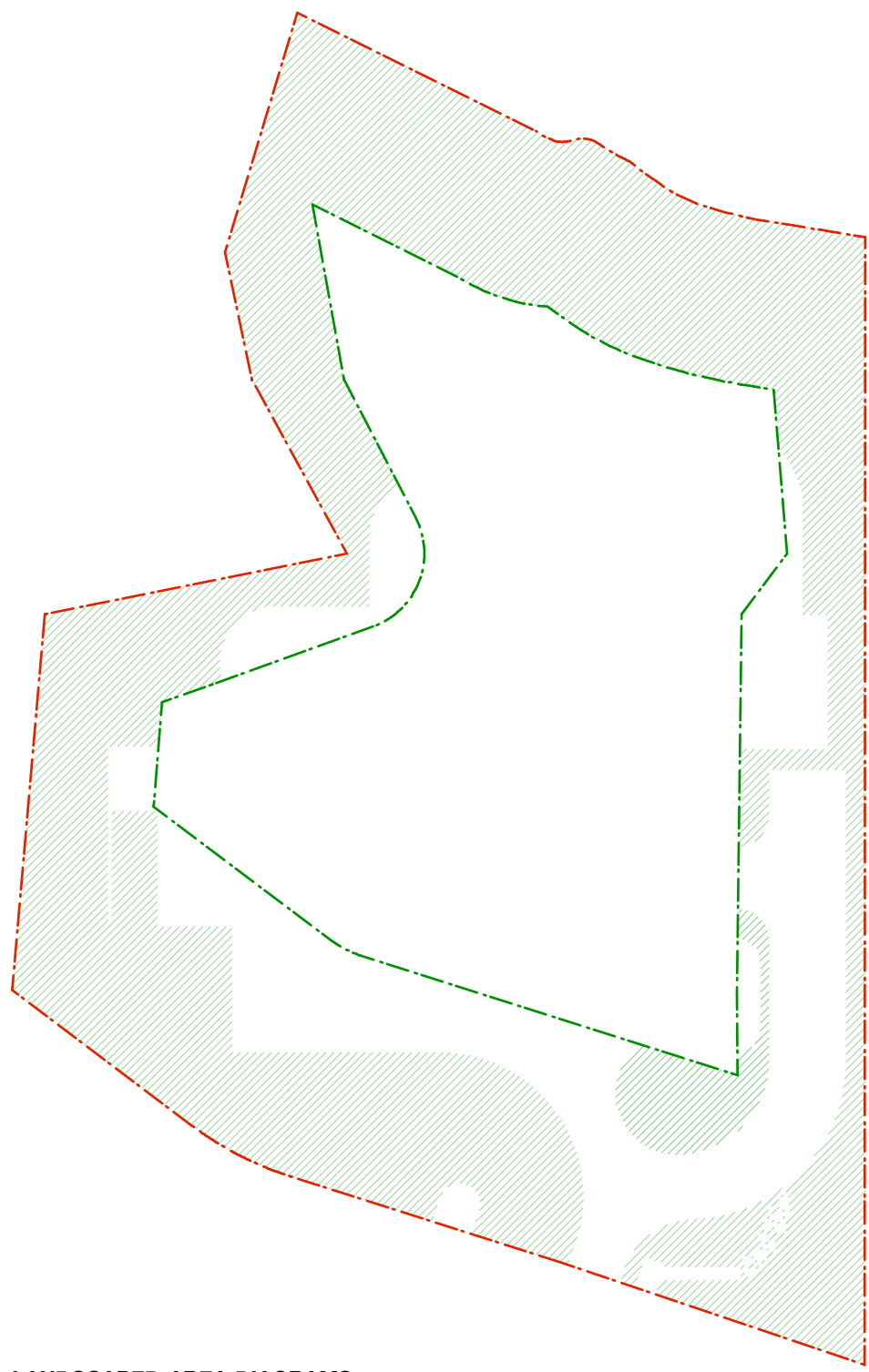
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Sydney
Survey Kalam Haskay Pty Ltd
1077 Castle Avenue
Parramatta NSW 2151 Australia
Telephone +61 (0) 2953 2232
Facsimile +61 (0) 6960 2348
Email bkh@bkh.com.au
www.bkh.com.au

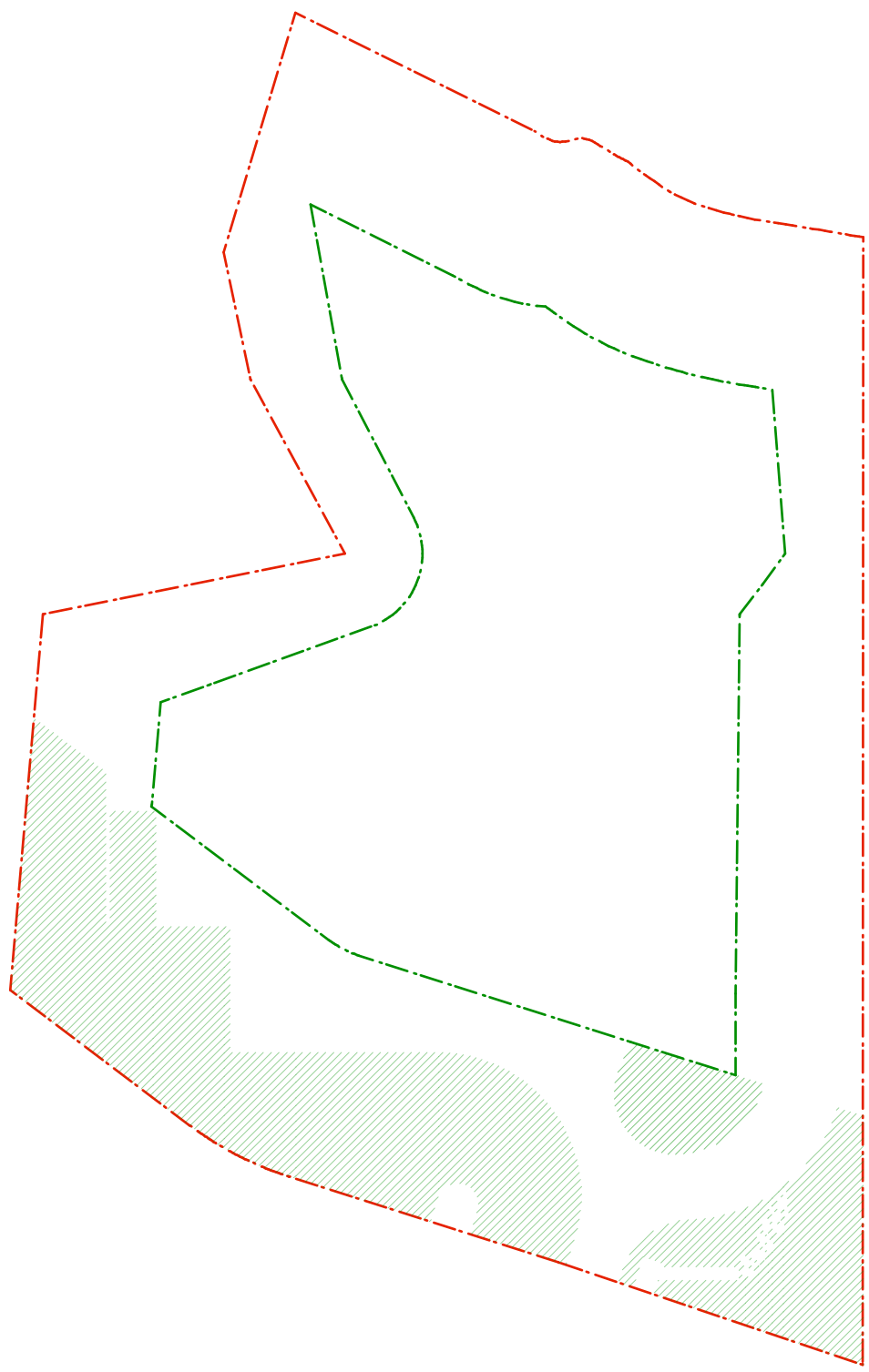
New York
BKH New York, Inc.
501 E 8th Avenue
Suite 920
New York NY 10007 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email bkhnewyork@bkh.com.au

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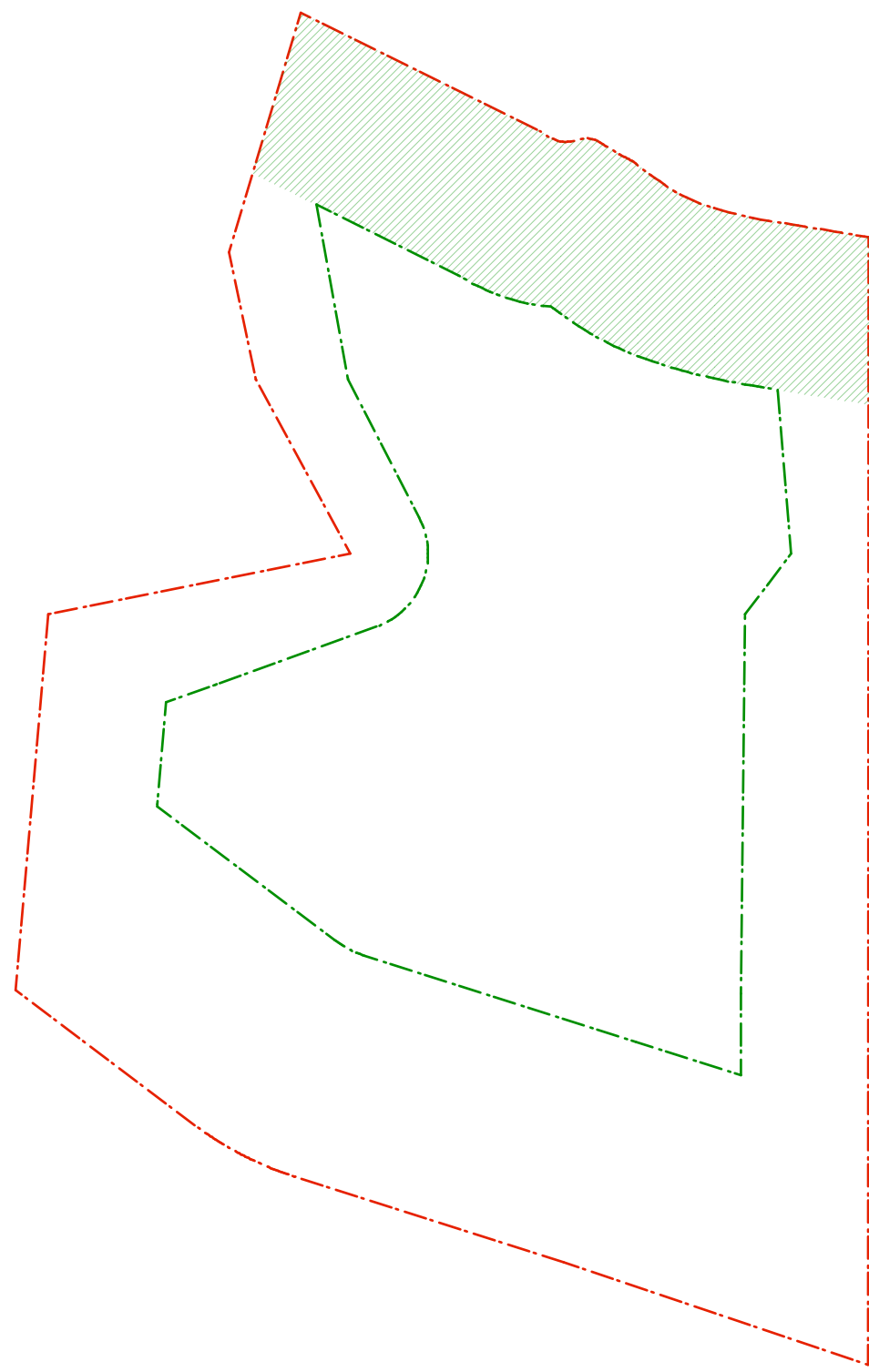


LANDSCAPED AREA DIAGRAMS
WOOLLAHRA COUNCIL DCP LANDSCAPED AREA CALCULATIONS
(refer to compliance table for compliance)

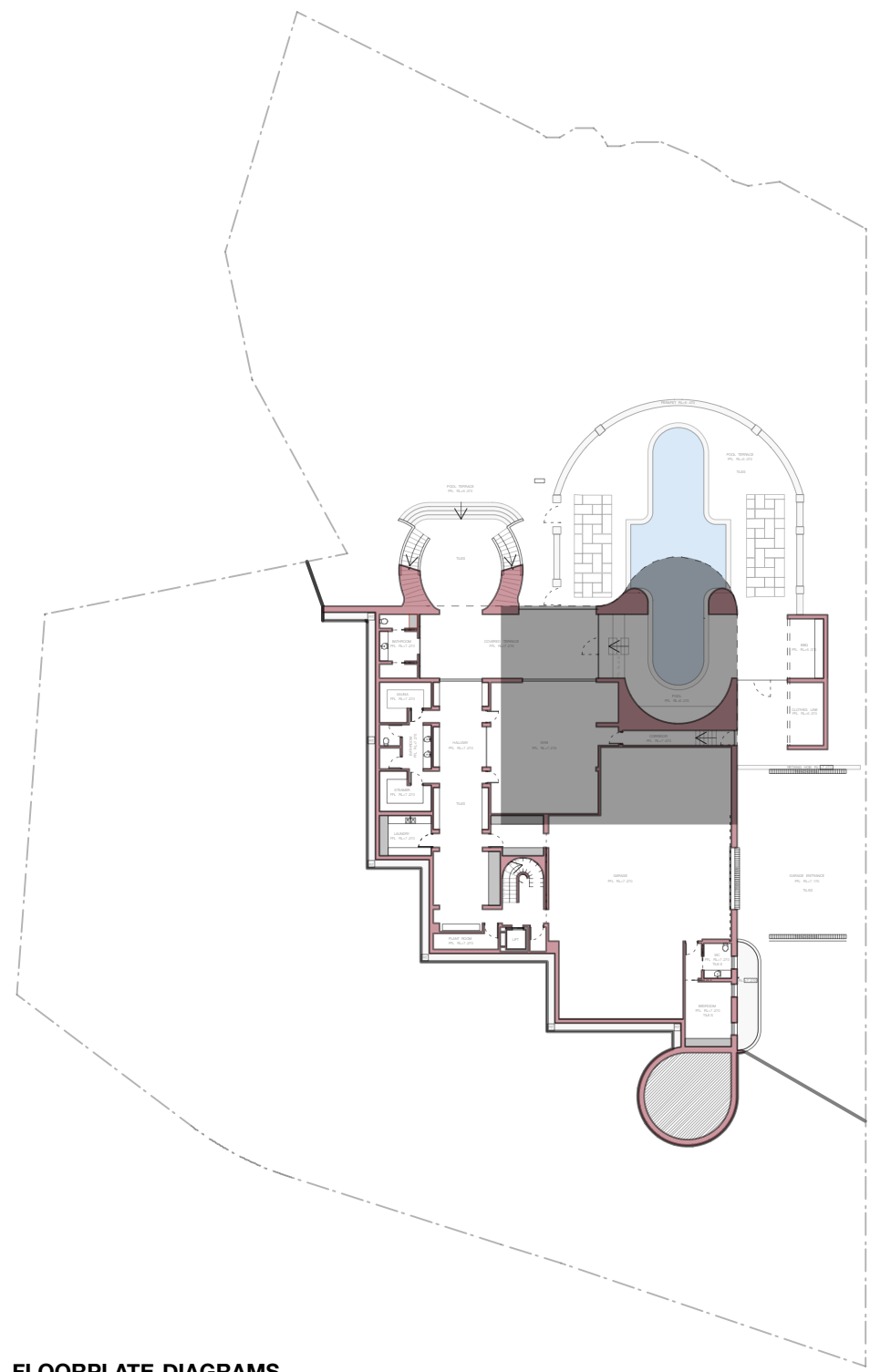
Total area outside of buildable area = 2525sqm
Total landscaped area outside of buildable area = 1810sqm (72%)
Allowable by Woollahra Council = 50% +



Total front setback area = 1149sqm
Total landscaped area within front setback = 750sqm (65%)
Allowable by Woollahra Council = 40% +

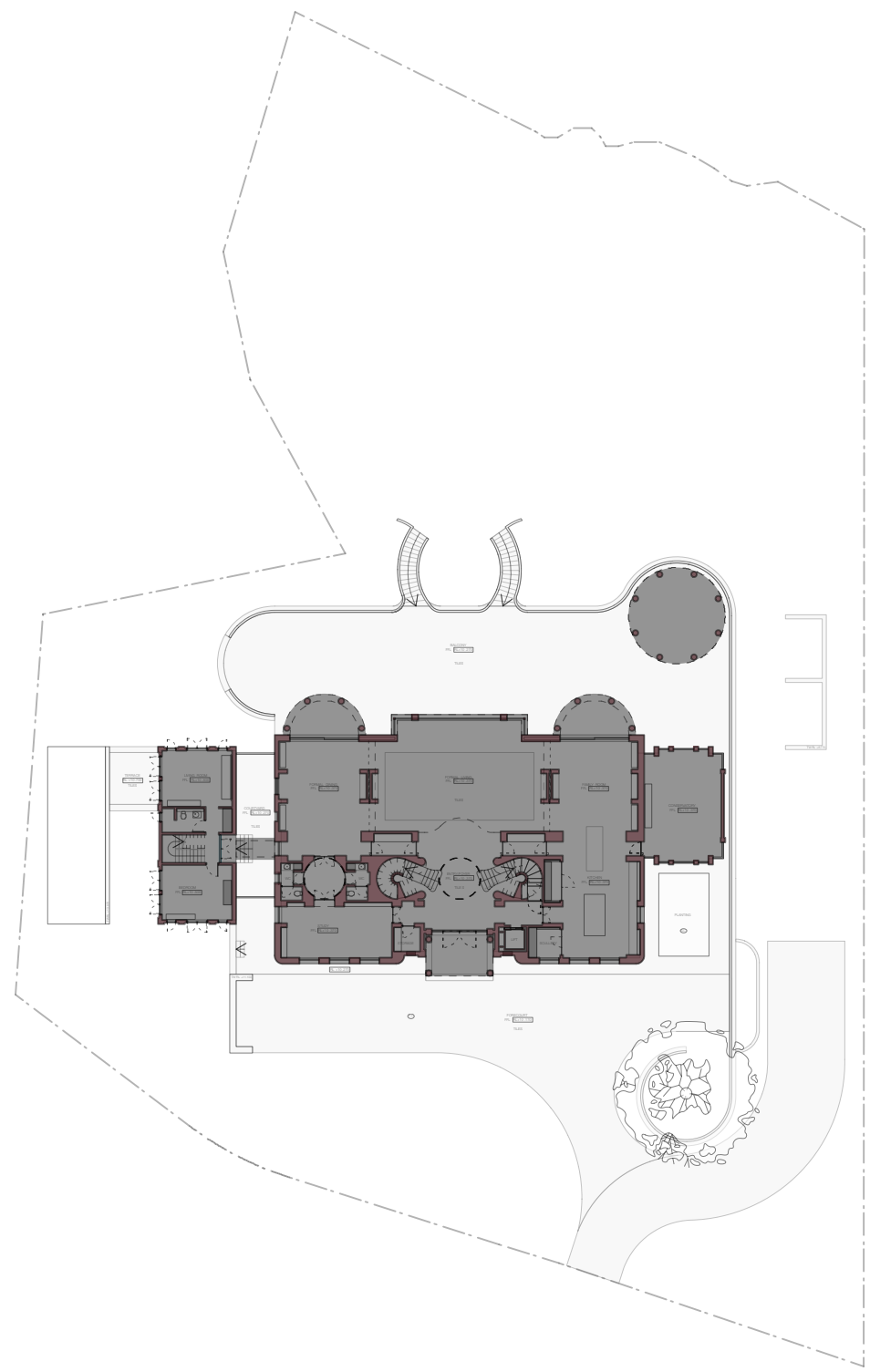


Total rear setback area = 560sqm
Total landscaped area within rear setback = 560sqm (100%)
Allowable by Woollahra Council = 50% +

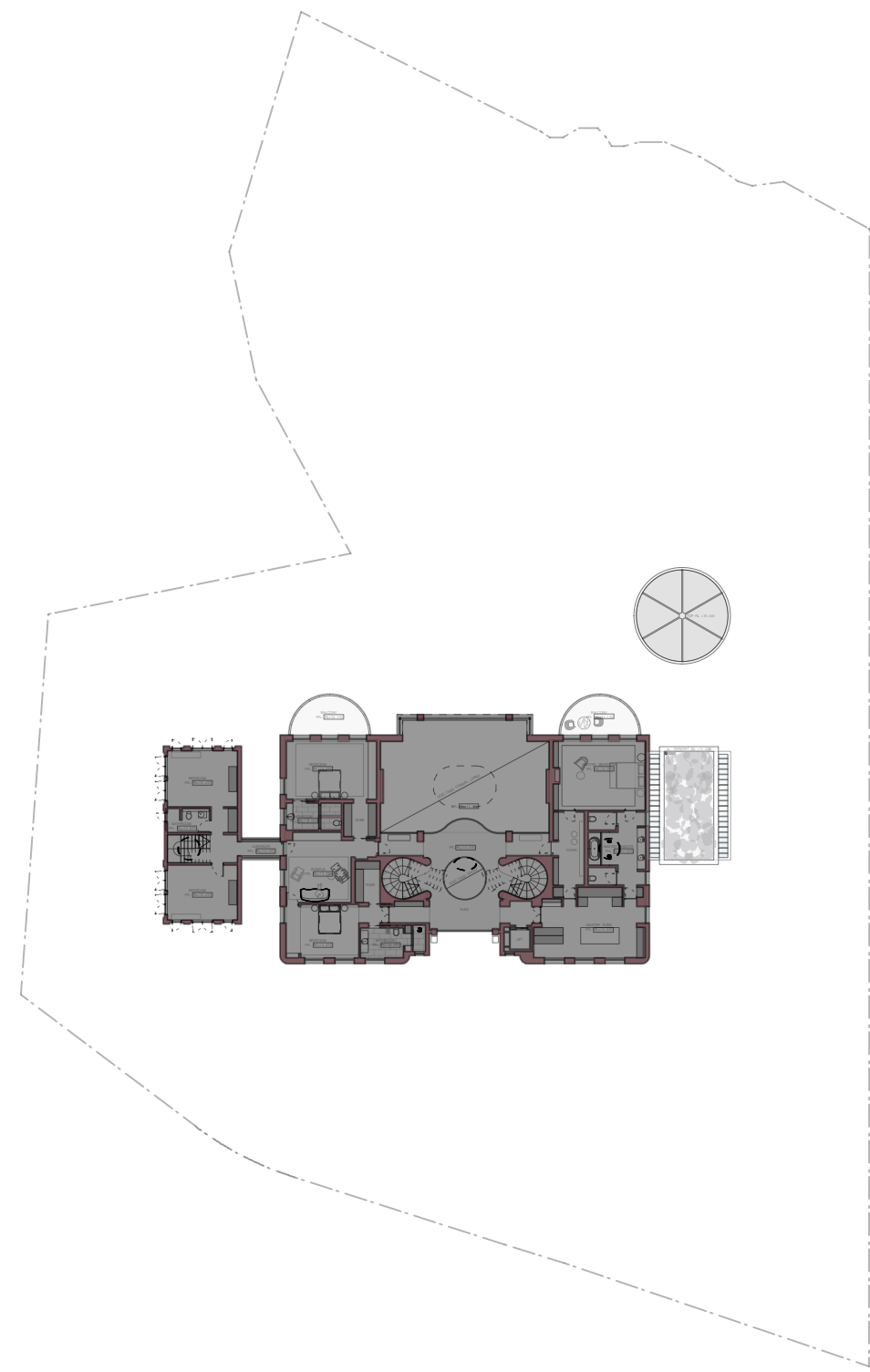


FLOORPLATE DIAGRAMS
WOOLLAHRA COUNCIL DCP FLOORPLATE CALCULATIONS
(refer to compliance table for compliance)

Lower Ground Floor Floorplate = 295sqm




Ground Floor Floorplate = 652sqm





First Floor Floorplate = 522sqm

LEGEND

LANDSCAPED AREA DIAGRAMS

 Proposed boundary

 Setback

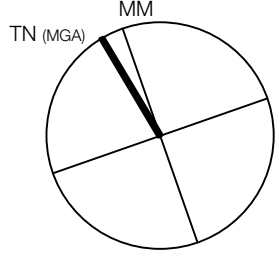
 Landscaped Area

FLOORPLATE DIAGRAMS

 Floorplate

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1355

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DEVELOPMENT APPLICATION
Kameney Residence
13-13A-15-15A Coolong Rd, Vauluse

Site Coverage Diagrams

16th November 2016

A.01.03

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Sydney
Burely Kameney Holdings Pty Ltd
107 Castle Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9552 2232
Facsimile +61 (0) 2 9552 2248
Email info@bkh.com.au
www.bkh.com.au

New York
BKH New York, Inc.
501 E 88th Avenue
Suite 820
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email info@bkh.com.au

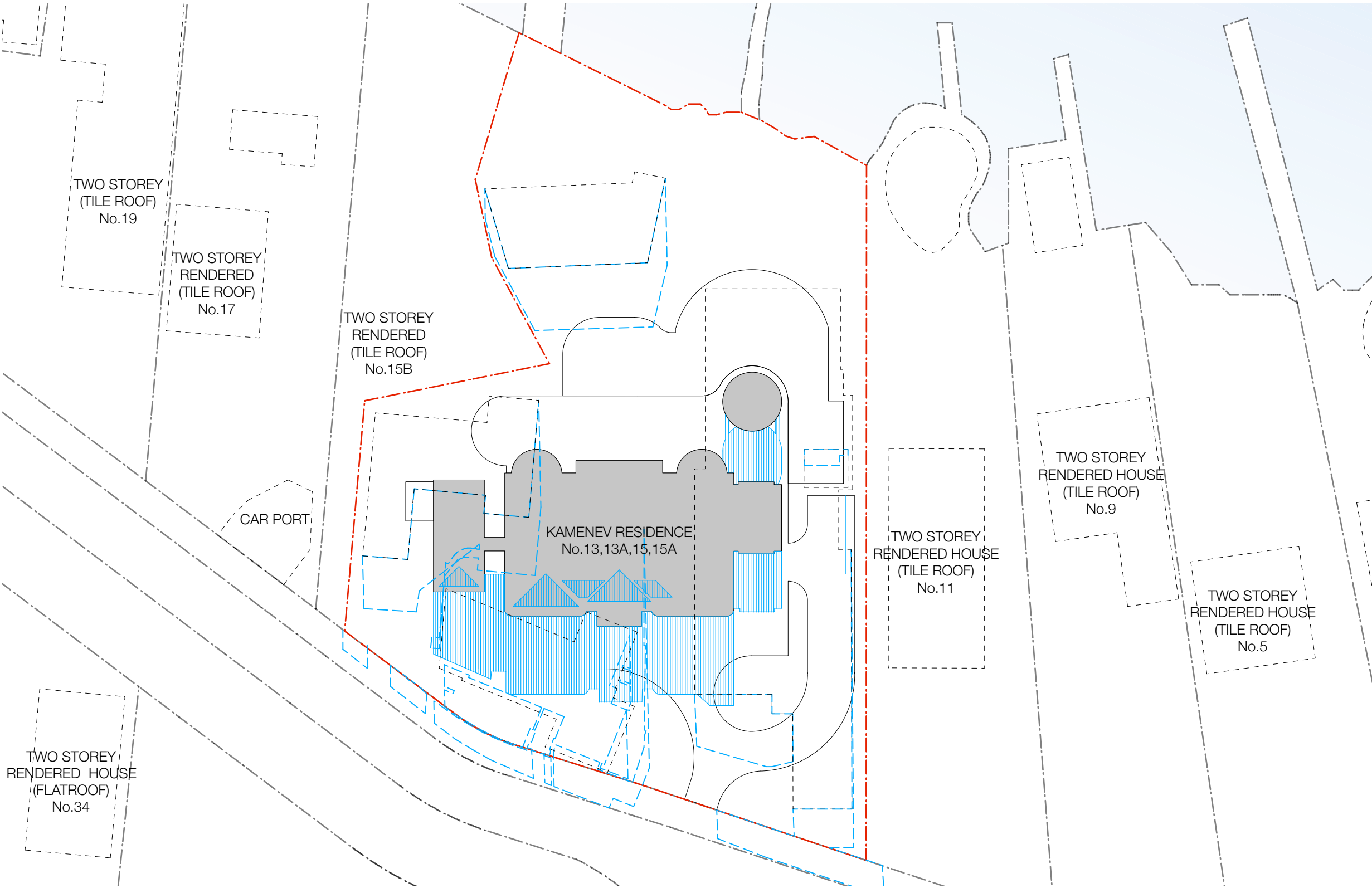
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OVERSHADOWING
JUNE 22 (WINTER SOLSTICE) AT 9.00AM





OVERSHADOWING
JUNE 22 (WINTER SOLSTICE) AT 3.00PM





OVERSHADOWING
JUNE 22 (WINTER SOLSTICE) AT 12.00PM


LEGEND


Shadows cast from existing buildings

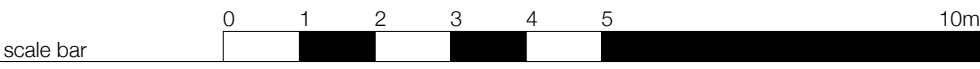
Shadows cast from existing buildings

Shadows cast from existing buildings

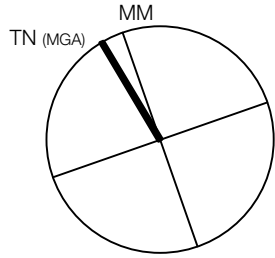
Shadows cast from proposed buildings

Shadows cast from proposed buildings

Shadows cast from proposed buildings



PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1355



DEVELOPMENT APPLICATION
Kamenev Residence
13-13A-15-15A Coolong Rd, Vauluse
PLAN: Shadow Diagrams

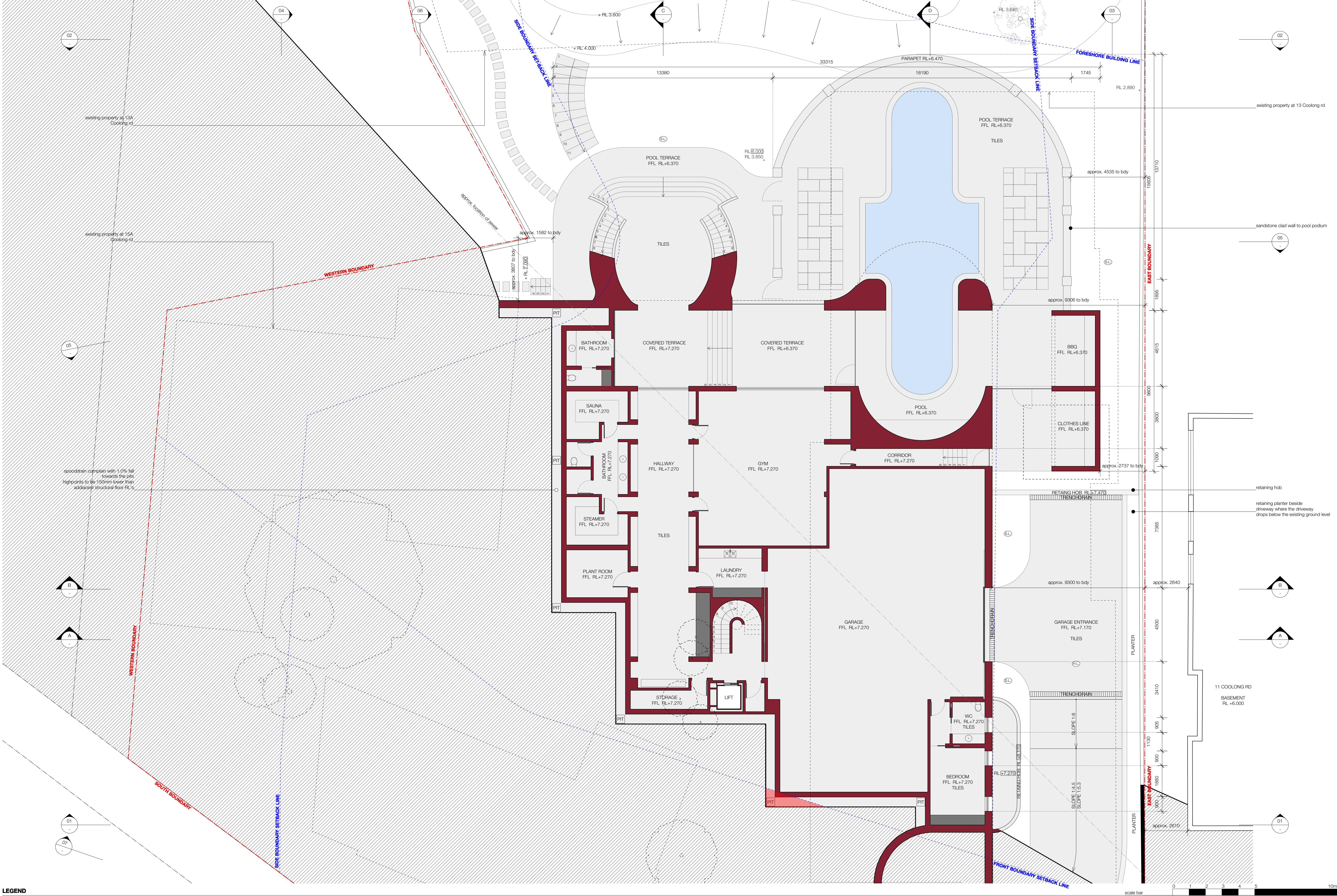
16th November 2016

A.01.05

Sydney
Burey Katon Holdings Pty Ltd
107 Castle Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9552 2232
Facsimile +61 (0) 2 9552 2248
Email info@bkh.com.au
www.bkh.com.au

New York
BKH New York, Inc.
501 East Avenue
Suite 920
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email info@bkh.com.au

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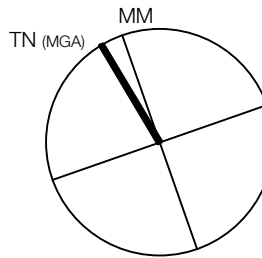
LEGEND

GENERAL ARRANGMENT

	structure: existing to remain		bulkhead/leave over		DP down pipe / drainage point connected to stormwater: see drainage plans		OF over-flow pipe for roof drainage pit connected to stormwater: see drainage plans
	structure: existing to be demolished		hidden detail		DRAIN drain connected to stormwater: see drainage plans		PIT pit connected to stormwater: see drainage plans
	structure: brickwork		existing ground, condition unknown/variable		FFL RL of finished floor level		TW top wall (reference with RL's)
	structure: concrete		proposed soil		FSL SL of top of finished structural slab		SL soft landscaping to refer landscape architect's drawings
	structure: concrete filled block or equivalent		existing reduced level		FW floor waste - connect to stormwater		HL hard landscaping to refer landscape architect's drawings
	structure: steel		new reduced level				
	structure: timber framing						

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1555

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www.coronaprojects.com.au



DEVELOPMENT APPLICATION
Kamenrev Residence
13-13A-15-15A Coolong Rd, Vauluse

LOWER GROUND FLOOR PLAN

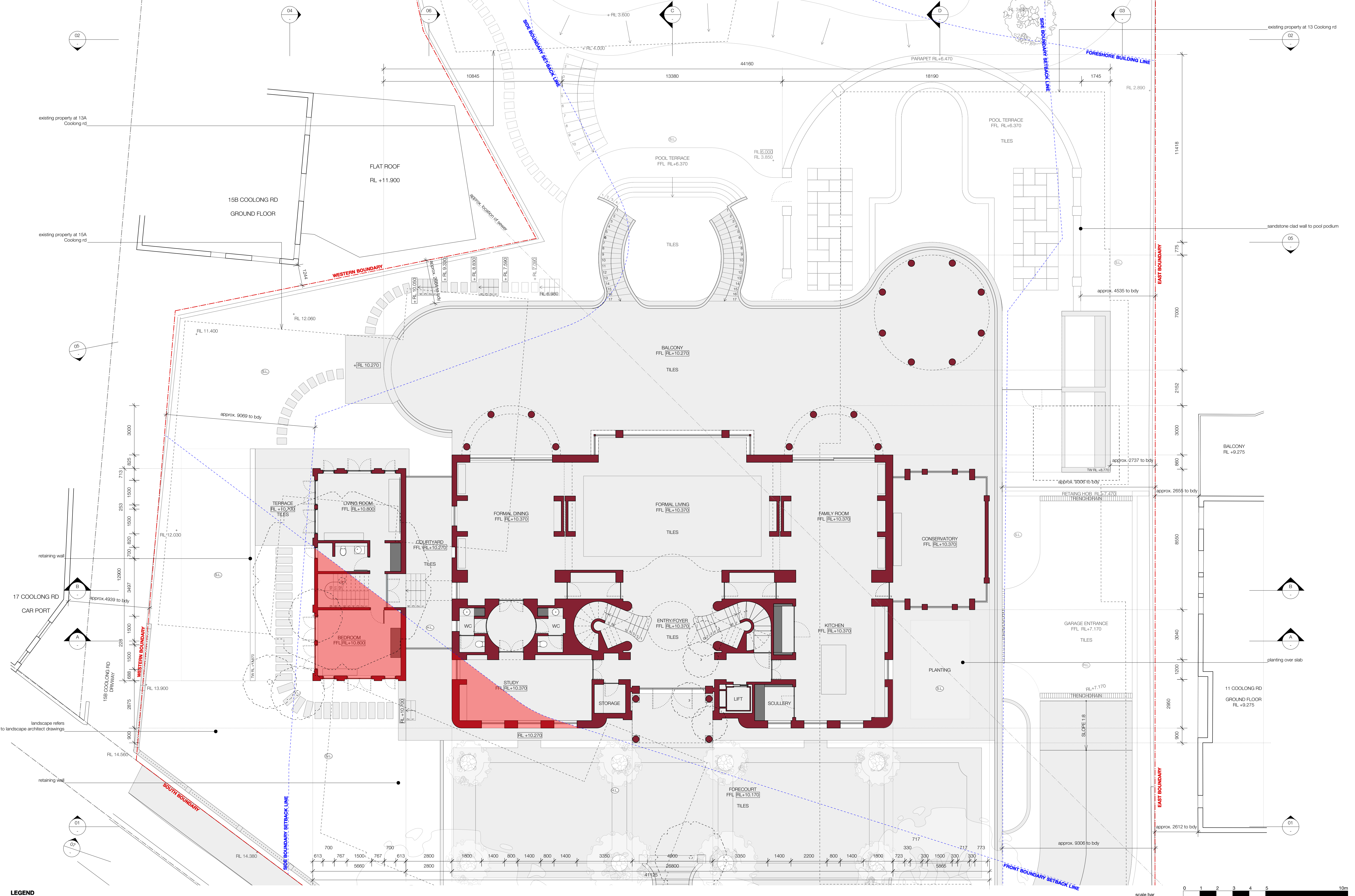
SCALE 1:100 @ A1
8th June 2017

A.02.01-A

Sydney
Burey Kitchin-Halliday Pty Ltd
107 Crane Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9362 2333
Facsimile +61 (0) 2 9362 2348
Email info@bkh.com.au
www.bkh.com.au

New York
BKH New York, Inc.
501 Fifth Avenue
Suite 905
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6568
Email info@bkh.com.au

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LEGEND
GENERAL ARRANGMENT
structure: existing to remain
structure: existing to be demolished
structure: brickwork
structure: concrete
structure: concrete filled block or equivalent
structure: steel
structure: timber framing
bulkhead / leave over
hidden detail
existing ground, condition unknown/variable
proposed soil
existing reduced level
new reduced level

DP down pipe / drainage point connected to stormwater: see drainage plans
DRAIN drain connected to stormwater: see drainage plans
FFL RL of finished floor level
FSL RL of top of finished structural slab
FW floor waste - connect to stormwater

OF over-flow pipe for roof drainage
PIT pit connected to stormwater: see drainage plans
TW top wall (reference with RL's)
SL soft landscaping to refer landscape architect's drawings
HL hard landscaping to refer landscape architect's drawings

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1555

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TN (MGA)
MM

DEVELOPMENT APPLICATION
Kameniev Residence
13-13A-15-15A Coolong Rd, Vauluse

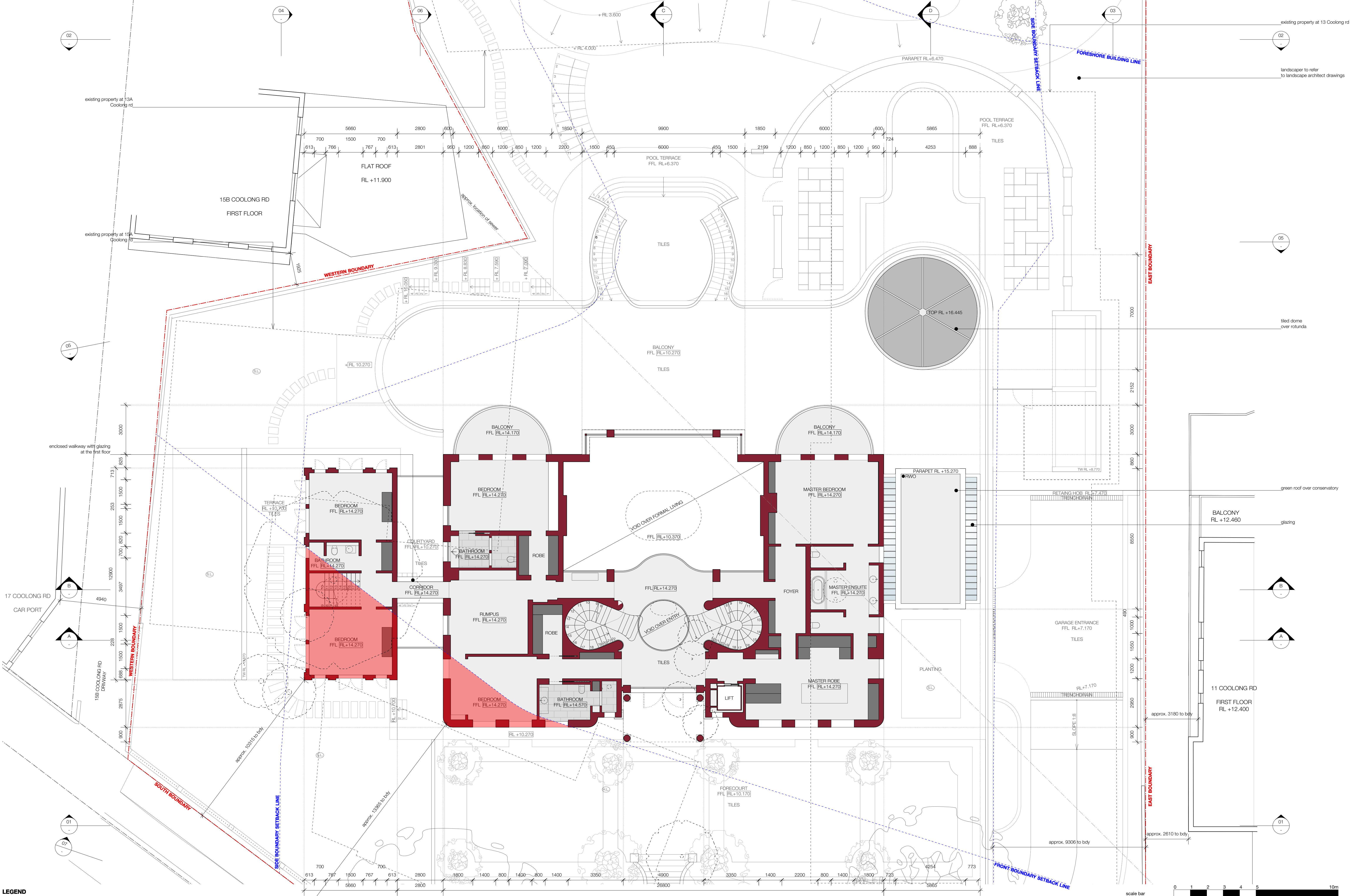
GROUND FLOOR PLAN

SCALE 1:100 @ A1
8th June 2017

A.02.02-A

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LEGEND

GENERAL ARRANGMENT

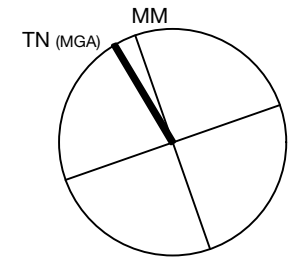
- structure: existing to remain
- structure: existing to be demolished
- structure: brickwork
- structure: concrete
- structure: concrete filled block or equivalent
- structure: steel
- structure: timber framing

- bulkhead / leave over
- hidden detail
- existing ground, condition unknown/variable
- proposed soil
- existing reduced level
- new reduced level

- DP down pipe / drainage point connected to stormwater: see drainage plans
- DRAIN drain connected to stormwater: see drainage plans
- FFL RL of finished floor level
- FSL RL of top of finished structural slab
- FW floor waste - connect to stormwater

- OF over-flow pipe for roof drainage pit connected to stormwater: see drainage plans
- PIT top wall (reference with RL's)
- TW soft landscaping to refer landscape architect's drawings
- SL hard landscaping to refer landscape architect's drawings
- HL

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1555



DEVELOPMENT APPLICATION
Kameniev Residence
13-13A-15-15A Coolong Rd, Vauluse

FIRST FLOOR PLAN

SCALE 1:100 @ A1
8th June 2017

A.02.03-A

bkh

Sydney
Bureau Kameniev Pty Ltd
107 Crane Avenue
Porto Pines NSW 2091 Australia
Telephone +61 (0) 9400 2533
Facsimile +61 (0) 9400 2548
Email: bkh@bkh.com.au
www.bkh.com.au

New York
BKH New York, Inc.
501 Fifth Avenue
Suite 905
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6568
Email: bkhnewyork@bkh.com.au

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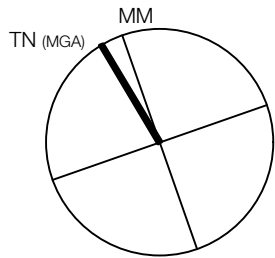
LEGEND

GENERAL ARRANGMENT

- | | | | | | | | | | |
|--|--|-------------|---|-----|--|------|---|--|--|
| | structure: existing to remain | | bulkhead / leave over | | | | | | |
| | structure: existing to be demolished | | hidden detail | DP | down pipe / drainage point connected to stormwater: see drainage plans | OF | over-flow pipe for roof drainage | | |
| | structure: brickwork | | existing ground, condition unknown/variable | PIT | pit connected to stormwater: see drainage plans | PT | pit connected to stormwater: see drainage plans | | |
| | structure: concrete | | proposed soil | FFL | RL of finished floor level | TW | top wall (reference with RL's) | | |
| | structure: concrete filled block or equivalent | | | FSL | RL of top of finished structural slab | TL | soft landscaping | | |
| | structure: steel | * RL 00.000 | existing reduced level | FW | roof waste - connect to stormwater | (RL) | hard landscaping | | |
| | structure: timber framing | * RL 00.000 | new reduced level | | | | refer landscape architect's drawings | | |

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1355

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DEVELOPMENT APPLICATION

Kamenev Residence
13-13A-15-15A Coolong Rd, Vaucluse

ROOF PLAN

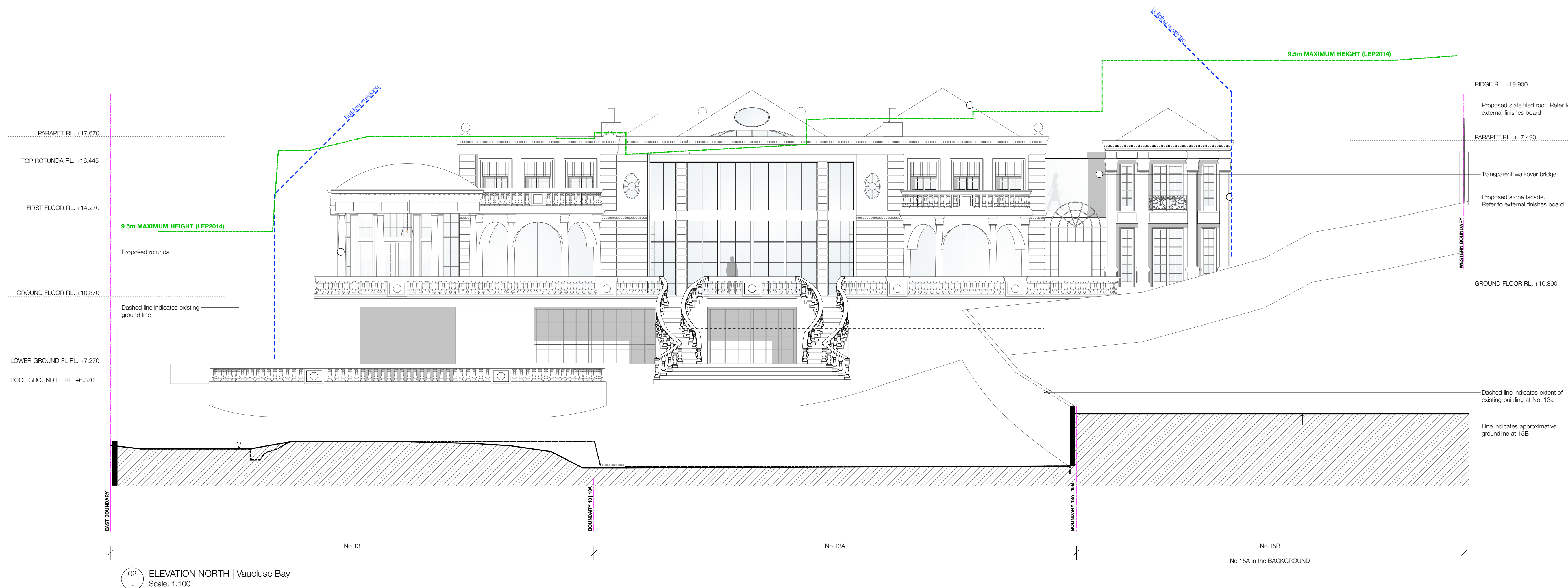
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8th June 2017

A.02.04-A

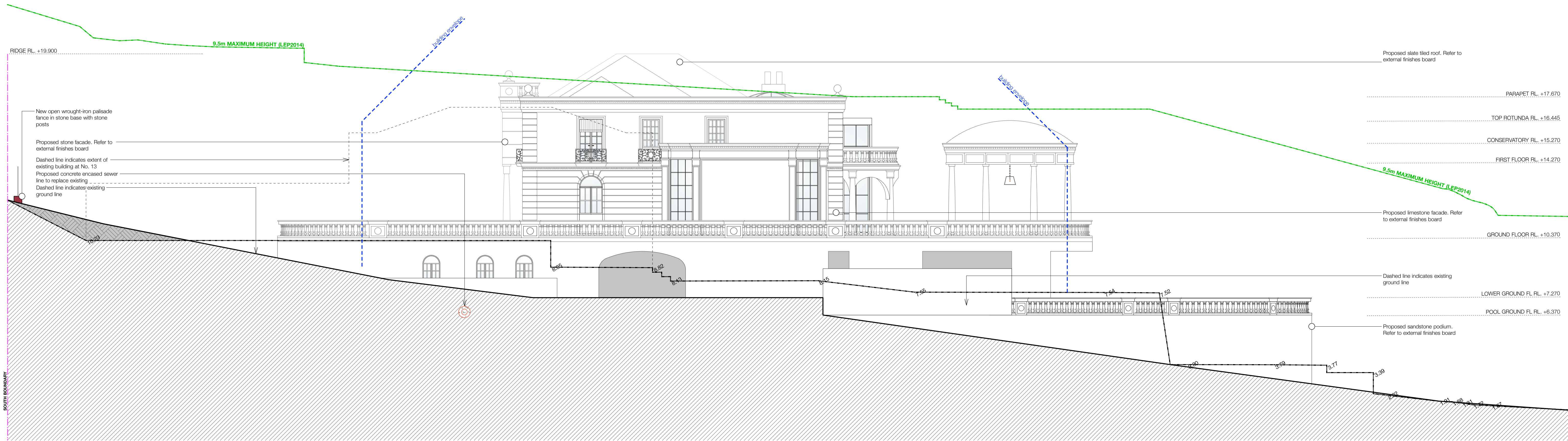
Sydney
 Balfour Gurney Holdings Pty Ltd
 1/27 O'Connell Avenue
 Portia Point NSW 2011 Australia
 Telephone +61 (0) 9502 2233
 Facsimile +61 (0) 9502 2048
 Email: blg@gurneygk.com.au
www.bkh.com.au

New York
 BKH New York, Inc.
 501 Fifth Avenue
 Suite 905
 New York, NY 10011 USA
 Telephone +1 (212) 206 6569
 Facsimile +1 (212) 206 6568
 Email: tkhnewyork@bkh.com

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction.



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03 ELEVATION EAST | the Rotunda and the Conservatorium
Scale: 1:100



04 ELEVATION WEST | the Guest Wing
Scale: 1:100

LEGEND

GENERAL ARRANGEMENT

	structure: existing to remain		bulkhead / eave over	DP	down pipe / drainage point connected to stormwater: see drainage plans	OF	over-flow pipe for roof drainage pit connected to stormwater: see drainage plans
	structure: existing to be demolished		hidden detail	PIT	drain connected to stormwater: see drainage plans	TW	top wall (reference with RL's)
	structure: brickwork		existing ground, condition unknown/variable	FFL	RL of finished floor level	SL	soft landscaping to refer landscape architect's drawings
	structure: concrete		proposed soil	FSL	RL of top of finished structural slab	HL	hard landscaping to refer landscape architect's drawings
	structure: concrete filled block or equivalent		existing reduced level	FW	floor waste - connect to stormwater		
	structure: steel		new reduced level				
	structure: timber framing						

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1355
 Corona Projects
www.coronaprojects.com.au

DEVELOPMENT APPLICATION

Kamenev Residence
13-13A-15-15A Coolong Rd, Vaucluse

ELEVATIONS: 03 (EST) + 04 (WST)

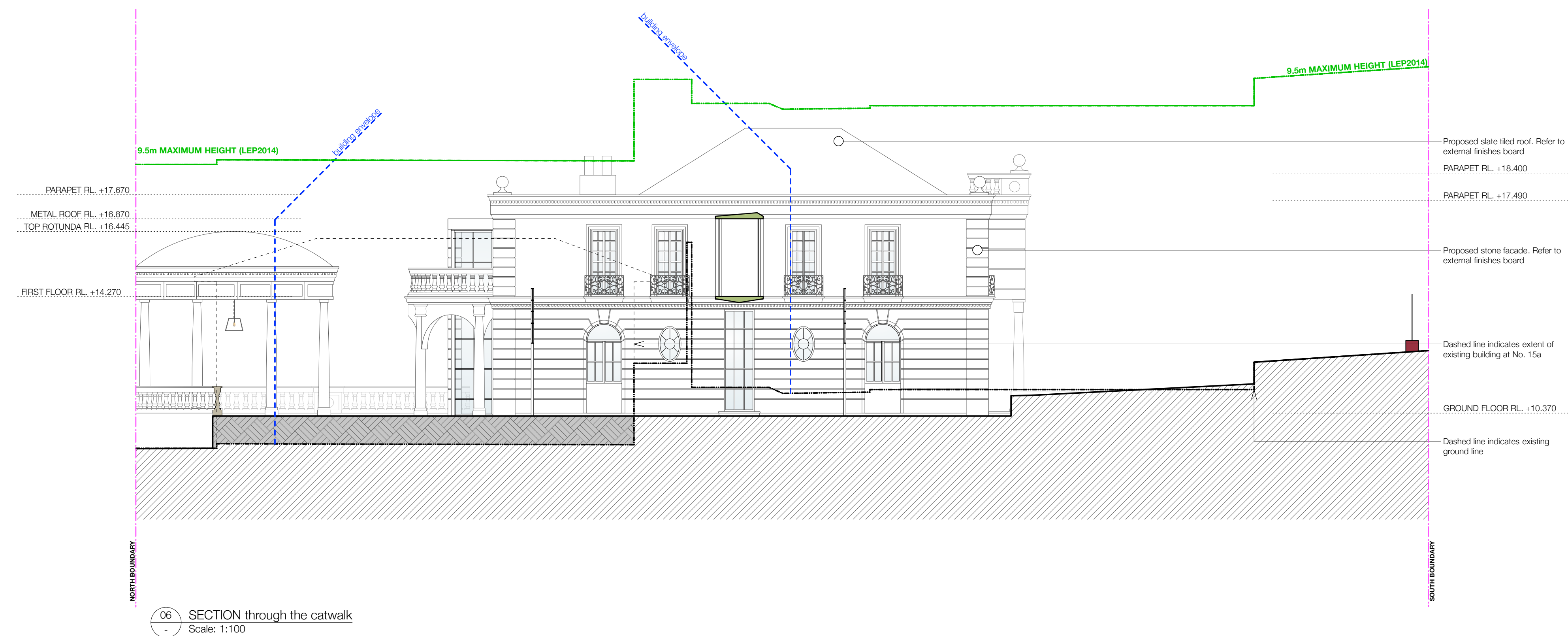
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16th November 2016

A.02.06

scale bar
0 1 2 3 4 5 10m

bkh
Sydney
Burey Katon Holdings Pty Ltd
107 Castle Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9552 2233
Facsimile +61 (0) 2 9552 2348
Email info@bkh.com.au
www.bkh.com.au
New York
BKH New York, Inc.
501 8th Avenue
Suite 920
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email info@bkh.com.au

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LEGEND

GENERAL ARRANGEMENT

	structure: existing to remain		bulkhead / eave over
	structure: existing to be demolished		hidden detail
	structure: brickwork		existing ground, condition unknown/variable
	structure: concrete		proposed soil
	structure: concrete filled block or equivalent		x RL.00.000 existing reduced level
	structure: steel		x RL.00.000 new reduced level
	structure: timber framing		

DP	down pipe / drainage point connected to stormwater: see drainage plans
DRAIN	drain connected to stormwater: see drainage plans
FFL	RL of finished floor level
FSL	RL of top of finished structural slab
FW	floor waste - connect to stormwater

OF	over-flow pipe for roof drainage pit connected to stormwater: see drainage plans
PIT	top wall (reference with RL's)
TW	soft landscaping to refer landscape architect's drawings
SL	hard landscaping to refer landscape architect's drawings

PROJECT MANAGER
Corona Projects Pty Ltd
Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1355



DEVELOPMENT APPLICATION

Kamenev Residence
13-13A-15-15A Coolong Rd, Vauluse

ELEVATIONS: 05 (NTH) + 06 (WST)

SCALE 1:100 @ A1
16th November 2016

A.02.07

scale bar 0 1 2 3 4 5 10m

bkh
Sydney
Burrey Katon Holdings Pty Ltd
107 Castle Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9552 2233
Facsimile +61 (0) 2 9552 2348
Email info@bkh.com.au
www.bkh.com.au
New York
BKH New York, Inc.
501 East Avenue
Suite 920
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email info@bkh.com.au

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LEGEND

GENERAL ARRANGEMENT

- structure: existing to remain
- structure: existing to be demolished
- structure: brickwork
- structure: concrete
- structure: concrete filled block or equivalent
- structure: steel
- structure: timber framing

- bulkhead / eave over
- hidden detail
- existing ground, condition unknown/variable
- proposed soil
- existing reduced level
- new reduced level

- DP down pipe / drainage point connected to stormwater: see drainage plans
- DRAIN drain connected to stormwater: see drainage plans
- FFL RL of finished floor level
- FSL RL of top of finished structural slab
- FW floor waste - connect to stormwater

- OF over-flow pipe for roof drainage
- PIT pit connected to stormwater: see drainage plans
- TW top wall (reference with RL's)
- soft landscaping to refer landscape architect's drawings
- hard landscaping to refer landscape architect's drawings

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Ph. 0419 438 956
PO Box 1749 Bondi Junction NSW 1555
Corona Projects
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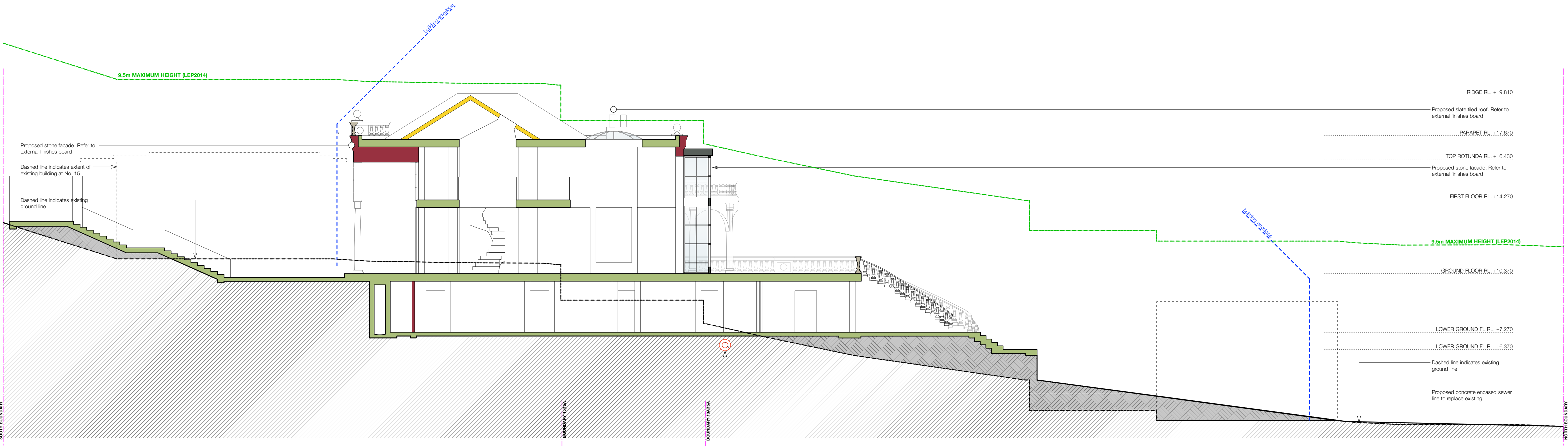
DEVELOPMENT APPLICATION
Kamenev Residence
13-13A-15-15A Coolong Rd, Vauluse
ELEVATIONS: 07 (STH Front Fence)

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16th November 2016
A.02.08

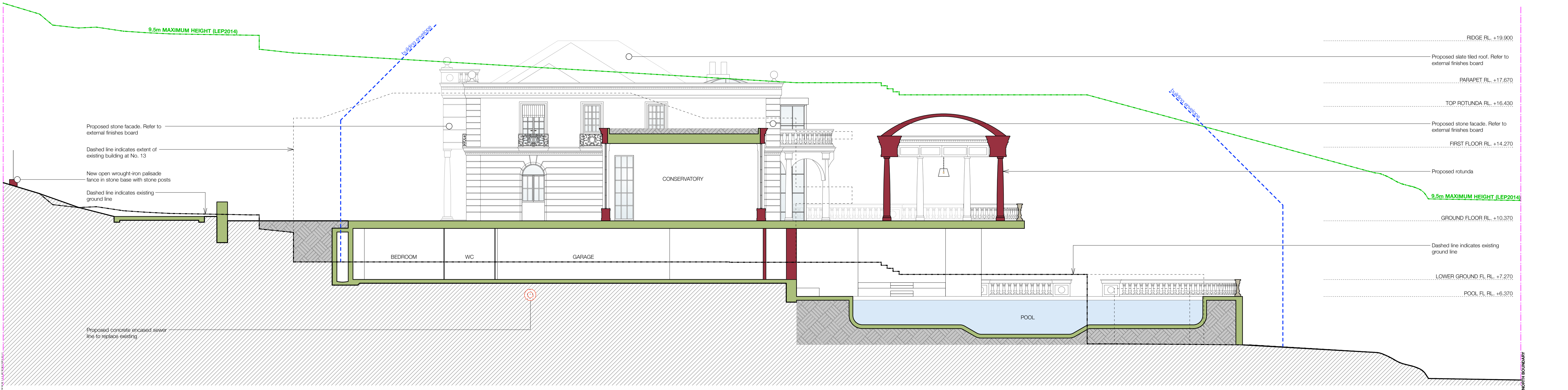
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bkh
Sydney
Bureau Kellum Holdings Pty Ltd
107 Castle Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9552 2233
Facsimile +61 (0) 2 9552 2348
Email bkh@bkh.com.au
www.bkh.com.au
New York
BKH New York, Inc.
501 East Avenue
Suite 820
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email bkhnewyork@bkh.com.au

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C SECTION through the center of the building
Scale: 1:100



D SECTION through the swimming pool
Scale: 1:100

LEGEND

GENERAL ARRANGMENT

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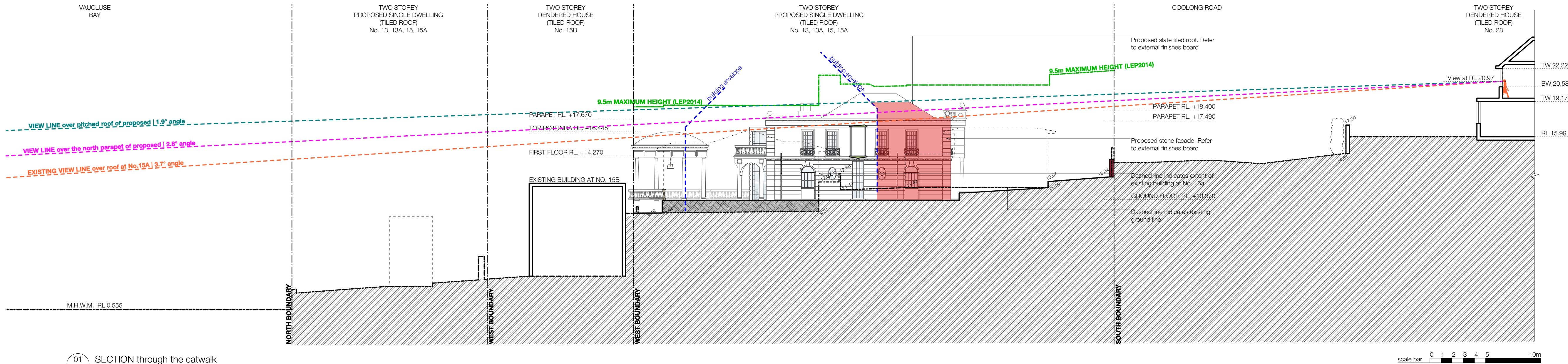
DEVELOPMENT APPLICATION
Kameney Residence
13-13A-15-15A Coolong Rd, Vaucluse
SECTIONS: C-C + D-D (Transv.)

SCALE 1:100 @ A1
16th November 2016
A.02.10

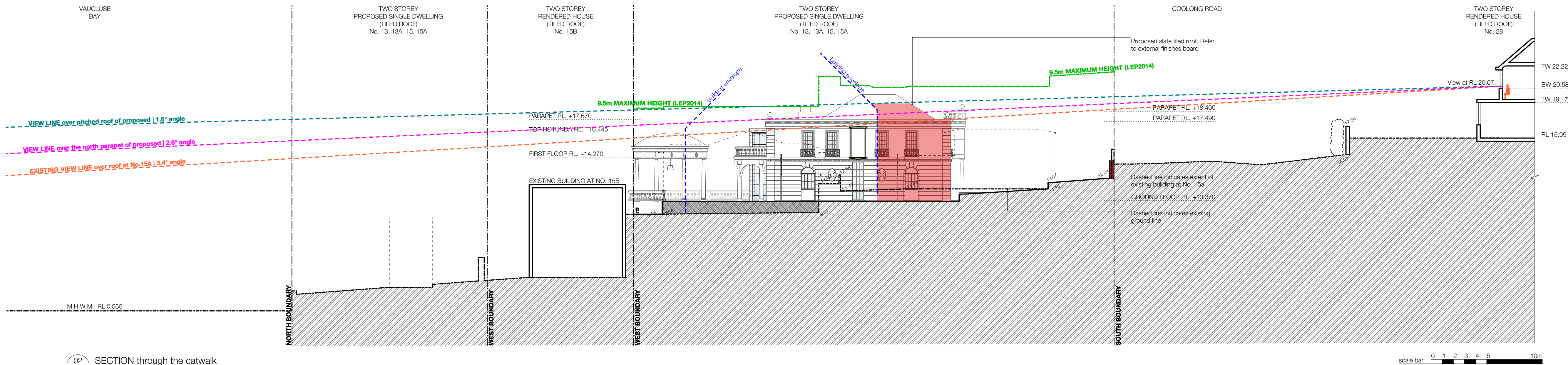
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bkh
Sydney
Burrey Katon Holdings Pty Ltd
107 Crane Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9552 2232
Facsimile +61 (0) 2 9552 2248
Email info@bkh.com.au
www.bkh.com.au
New York
BKH New York, Inc.
501 East Avenue
Suite 820
New York NY 10017 USA
Telephone +1 (212) 206 6569
Facsimile +1 (212) 206 6569
Email info@bkh.com.au

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01 SECTION through the catwalk
Standing person looking out from first floor window



02 SECTION through the catwalk
Seated person looking out from first floor window

Standing person (eyes at 1.5m) from the first floor window at No.28 Coolong Rd		
	Angle	Intersection with M.H.W.M. at
Existing buildings	3.4°	338 m
Proposal with pitched roof	1.6°	736 m
Proposal without pitched roof	2.6°	448 m
Seated person (eyes at 1.2m) from the first floor window at No.28 Coolong Rd		
	Angle	Intersection with M.H.W.M. at
Existing buildings	3.7°	319 m
Proposal with pitched roof	1.9°	627 m
Proposal without pitched roof	2.8°	413 m

LEGEND

GENERAL ARRANGEMENT

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Corona Projects
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DEVELOPMENT APPLICATION
Kameney Residence
13-13A-15-15A Coolong Rd, Vaucluse

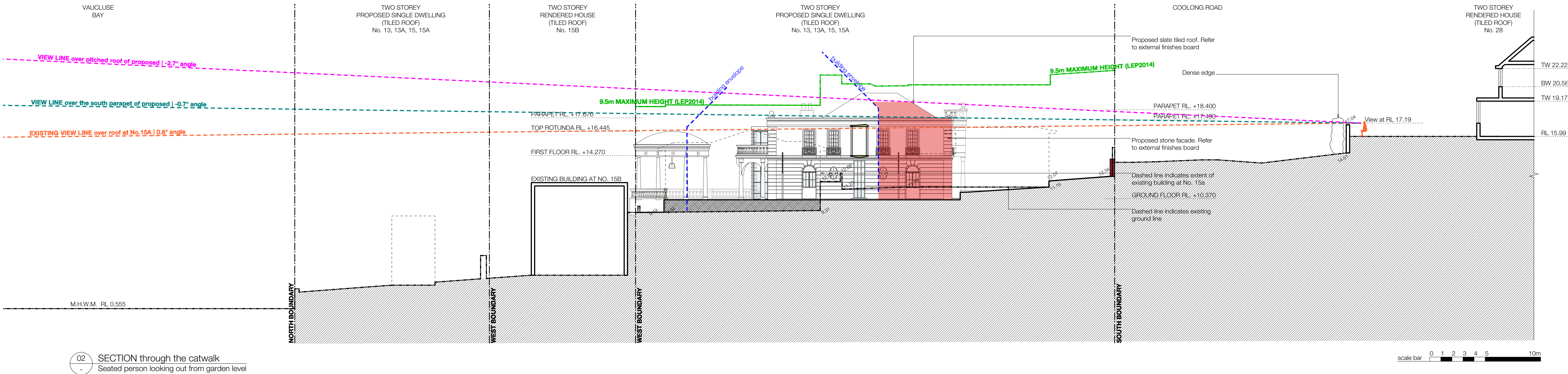
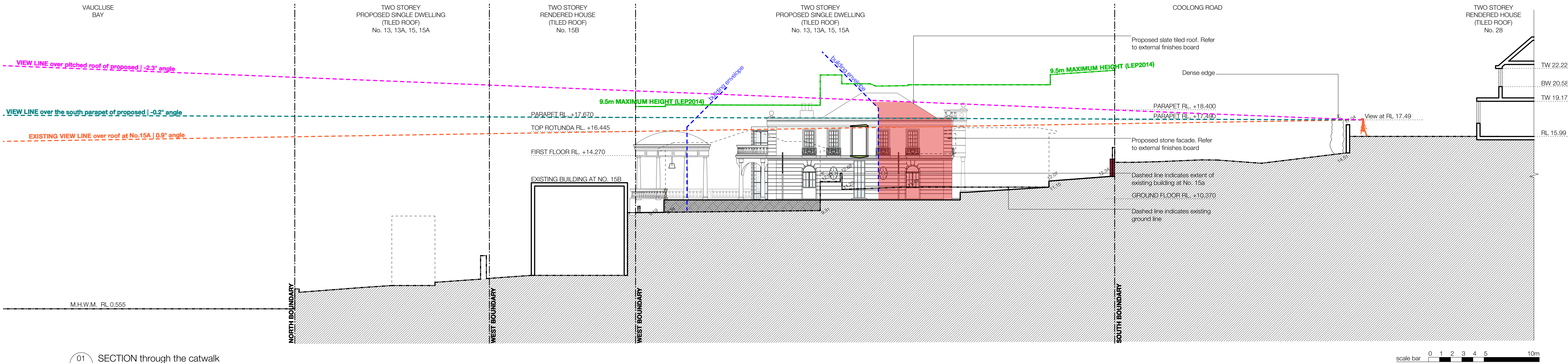
VIEW LINE from first floor at no.28 Coolong Rd
SCALE 1:200 @ A1
8th June 2017

A.05.01-A

Sydney
Burey Kameney Holdings Pty Ltd
1/27 Crane Avenue
Potts Point NSW 2011 Australia
Telephone +61 (0) 2 9323 2233
Facsimile +61 (0) 9 900 2548
Email info@burey.com.au

New York
BKH New York, Inc.
501 Fifth Avenue
Suite 905
New York NY 10017 USA
Telephone +1 (212) 206 6869
Facsimile +1 (212) 206 6868
Email info@burey.com.au

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Standing person (eyes at 1.5m) at 1m from the north boundary wall at garden level No.28 Coolong Rd		
	Angle	Intersection with M.H.W.M. at
Existing buildings	0.9°	1098 m
Proposal with pitched roof	-0.2°	-
Proposal without pitched roof	-2.3°	-
Seated person (eyes at 1.2m) at 1m from the north boundary wall at garden level at No.28 Coolong Rd		
	Angle	Intersection with M.H.W.M. at
Existing buildings	0.6°	16140 m
Proposal with pitched roof	-2.7°	-
Proposal without pitched roof	-0.7°	-

LEGEND

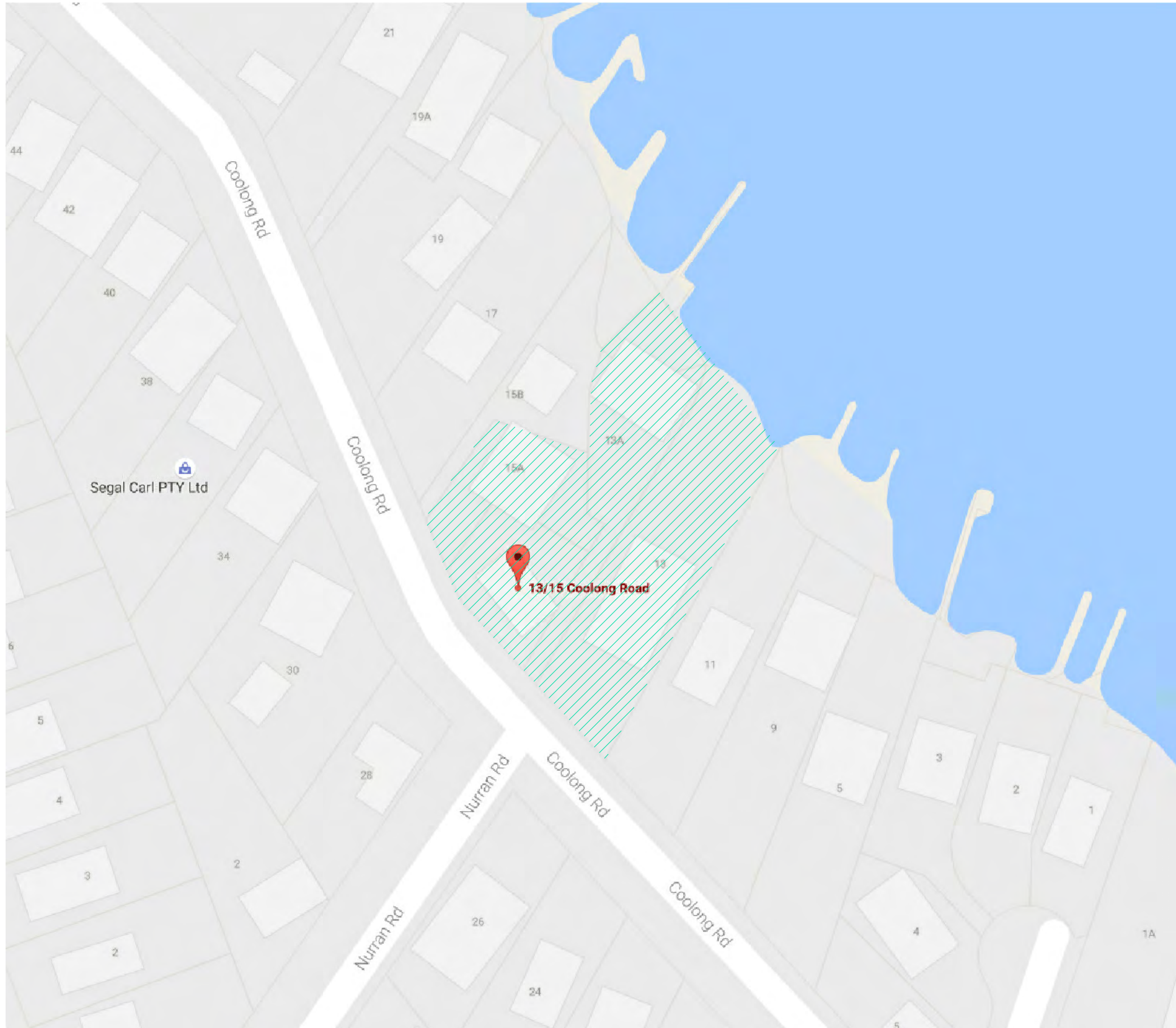
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PO Box 1749 Bondi Junction NSW 1555
 www.coronaprojects.com.au

DEVELOPMENT APPLICATION
Kameniev Residence
13-13A-15-15A Coolong Rd, Vacluse
VIEW LINE from garden level at no.28 Coolong Rd
SCALE 1:200 @ A1
8th June 2017
A.05.02-A

Sydney
Burrey Kitchin Holdings Pty Ltd
1107 Crane Avenue
Pony Point NSW 2011 Australia
Telephone +61 (0) 2933 2233
Facsimile +61 (0) 9400 2548
Email info@bkh.com.au
www.bkh.com.au
New York
BKH New York, Inc.
501 Fifth Avenue
Suite 902
New York NY 10017 USA
Telephone +1 (212) 206 6669
Facsimile +1 (212) 206 6889
Email info@bkh.com.au

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LOCATION MAP
GOOGLE MAPS | NST

DRAWING SCHEDULE

MB_CR_01	COVER PAGE
MB_CR_10	LANDSCAPE PLAN 01
MB_CR_11	LANDSCAPE PLAN 02
MB_CR_30	SECTIONS

PLANT SCHEDULE

CODE	BOTANIC NAME	COMMON NAME	MATURE SIZE	QTY	POT SIZE
TREES					
Ap	Acer palmatum	Japanese Maple	6m	6	Mature
Bn	Bismarckia nobilis	Bismarck palm	500mm CT	3	200L
Br	Brachychiton rupestris	QLD bottle tree	8-10m	1	Mature
Cc	Calodendrum capense	Cape chestnut	6m	2	200L
Ch	Chamaerops humilis	European Fan Palm	-	Existing	Transplant
Cd	Cupaniopsis anacardioides	Tuckeroo	6-8m	4	300L
Cw	Citrus x limon	Lemon	3m	2	100L
Dd	Dracaena draco	Dragon Blood Tree	3m	3	Mature
Er	Eriobotrya japonica	Loquat	3-6m	3	100L
Fh	Ficus hillii	Hills weeping fig	Refer to plan	80	100L
Fm	Ficus macrophylla	Moreton Bay fig	15-20m	1	Mature
Ht	Hibiscus hibiscus	Sea hibiscus	4m	2	100L
Lc	Livistona chinensis	Chinese fan palm	500mm CT	5	Mature
Ln	Laurus nobilis 'pleached'	Bay tree	2.5m	6	200L
Map	Morus alba 'pendula'	Weeping mulberry	4m	1	200L
Mg	Magnolia grandiflora	Southern Magnolia	8m	5	Mature
Na	Nerium Oleander	Oleander	4m	25	100L
Oe	Olea europaea	Olive	4m	3	300L
Ps	Plumeria spp.	Frangipani	4-5m	1	Mature
Re	Rhapis excelsa	Broadleaf lady palm	2.5m	16	75L
Pr	Phoenix roebelenii	Dwarf date palm	2.5m	7	100L
Pr	Phoenix sylvesteris	Silver Date Palm	3m CT	4	Mature
Sn	Streitzia nicolai	Giant Bird of Paradise	6m	25	200L
Tf	Trachycarpus fortunei	Chinese Windmill Palm	1.5-5m CT	5	Mature
Wt	Washingtonia robusta	Mexican Fan Palm	8-10m CT	8	Mature
CODE	BOTANIC NAME	COMMON NAME	MATURE SIZE	QTY	POT SIZE
SHRUBS & PERENNIALS					
Ac	Arthropodium cinctatum	NZ rock lily	600mm	80	200mm
Al	Aucuba japonica 'Kozannie'	Japanese laurel	800mm	80	200mm
Am	Acanthus mollis	Beard's Breaches	1m	80	200mm
Ac	Alocasia odora	Elephant ear	1.5m	25	300mm
Aw	Acalypha wilkesiana	Coppertleaf	3m	9	500mm
Az	Alpinia rutans	Dwarf cardamom	3m	175	300mm
Az	Alpinia zumbel	Shell Ginger	3m	80	300mm
Bm	Buxus microphylla 'Balls'	Japanese Box	0.5-0.6m	20	400mm
Bm	Buxus microphylla 'Balls'	Japanese Box	0.7-1m	20	500mm
Bmh	Buxus microphylla 'Hedge'	Japanese Box	700mm	200	400mm
Cj	Camellia japonica	Japanese Camellia	2m	16	45L
Cm	Clivia miniata 'White'	Clivia	600mm	150	200mm
Cr	Cycas revoluta	Sago Palm	1m	18	500mm
Ec	Echium candicans	Pride of Madeira	1.5m	25	200mm
Gd	Gardenia augusta 'Tiarata'	Gardenia Florida	800mm	70	300mm
Ha	Hydrangea quercifolia	Oak Leaf Hydrangea	1.2m	70	300mm
Mo	Muraya paniculata	Mock orange	-	Existing	Transplant
Os	Osmanthus x burkwoodii	Osmanthus	1.5m	50	400mm
Rap	Rosmarinus officinalis	Rosemary	800mm	60	300mm
Ptm	Pittosporum tobira 'Miss Muffet'	Miss Muffet Pittosporum	600mm	50	200mm
Pl	Prunus laetionica	Portuguese Laurel	2.5m	40	500mm
Sg	Strobilanthes gossypifolius	Persian Shield	700mm	70	200mm
St	Streitzia reginae	Bird of Paradise	1.5m	40	300mm
Tf	Teucrium fruticosum	Tree Germander	800mm	25	200mm
Vo	Viburnum odoratissimum 'emerald lustre'	Sweet Viburnum	2.5m	50	400mm
Vs	Viburnum suspensum	Viburnum Suspensum	2.5m	35	400mm
CODE	BOTANIC NAME	COMMON NAME	MATURE SIZE	QTY	POT SIZE
SUCCULENTS					
Ag	Agave americana	Century Plant	1.5-2m	12	500mm
Ad	Agave desertiana	Smooth Agave	1m	10	500mm
Ec	Echinopsis peruviana	Peruvian Cactus	1.8m	18	200mm
CODE	BOTANIC NAME	COMMON NAME	MATURE SIZE	QTY	POT SIZE
CLIMBERS / GROUNDCOVERS					
Bg	Bougainvillea spp.	Bougainvillea	Climber	12	300mm
Hc	Hedera cuneifolia	Canary Island Ivy	Groundcover	200	100mm
Lh	Lonicera hildebrandiana	Giant honeysuckle	Climber	30	200mm
Pte	Pachysandra terminalis	Japanese spurge	Groundcover	200	140mm
Pt	Parthenocissus tricuspidata	Boston Ivy	Climber	40	140mm
Sc	Sanatolia chamaecyparissus	Colt's lavender	Groundcover	90	40mm
Ta	Trachelospermum asiaticum	Asiatic jasmine	Groundcover	200	140mm
Rap	Rosmarinus officinalis 'Prestatus'	Creeping rosemary	Groundcover	60	200mm

NOTE

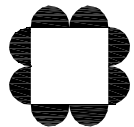
PLANT SELECTION SUBJECT TO AVAILABILITY

NOTES

- ALL LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECT'S AND ADDITIONAL CONSULTANT'S DRAWINGS, SPECIFICATIONS AND REPORTS.
- ALL PUBLIC UTILITY SERVICES ARE TO BE LOCATED ON SITE BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORKS. THE LOCATION, PRESENCE AND EXTENT OF SERVICES SHOWN ARE NOT GUARANTEED COMPLETE OR CORRECT.
- NO TREES PROTECTED UNDER THE LOCAL COUNCIL'S TREE PRESERVATION ORDER ARE TO BE REMOVED UNLESS APPROVED BY DEVELOPMENT CONSENT OR PERMIT OBTAINED FROM COUNCIL.
- ALL STEEL EDGING TO BE MILD STEEL PLATE, 3mm X 200mm. THE TOP EDGE OF THE PLATE IS TO BE FLUSH WITH THE LEVEL OF THE LAWN.
- ALL PAVING IS INDICATIVE, TO BE TO FUTURE SPECIFICATION, AND SET OUT ON SITE.
- ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE LOCAL COUNCIL'S APPROVAL, STANDARDS AND CODES.
- THE CONTRACTOR IS TO ENSURE THAT ALL THE WORKS ARE CARRIED OUT IN ACCORDANCE WITH THE WORK HEALTH AND SAFETY ACT.

IRRIGATION

- ALL DEEP SOIL GARDEN BED IRRIGATION TO BE FIXED RISERS WITH SPRAYS
- ALL LAWN IRRIGATION TO BE POP UP ROTORS



MYLES BALDWIN DESIGN

The Stable, 105 Lawrence St, Alexandria, Sydney, NSW, 2015, Australia
PH +61 2 9565 5529 | www.mylesbaldwin.com

PROJECT:
COOLONG RD, VAULCUSE

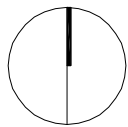
CLIENT:
KAMENEV

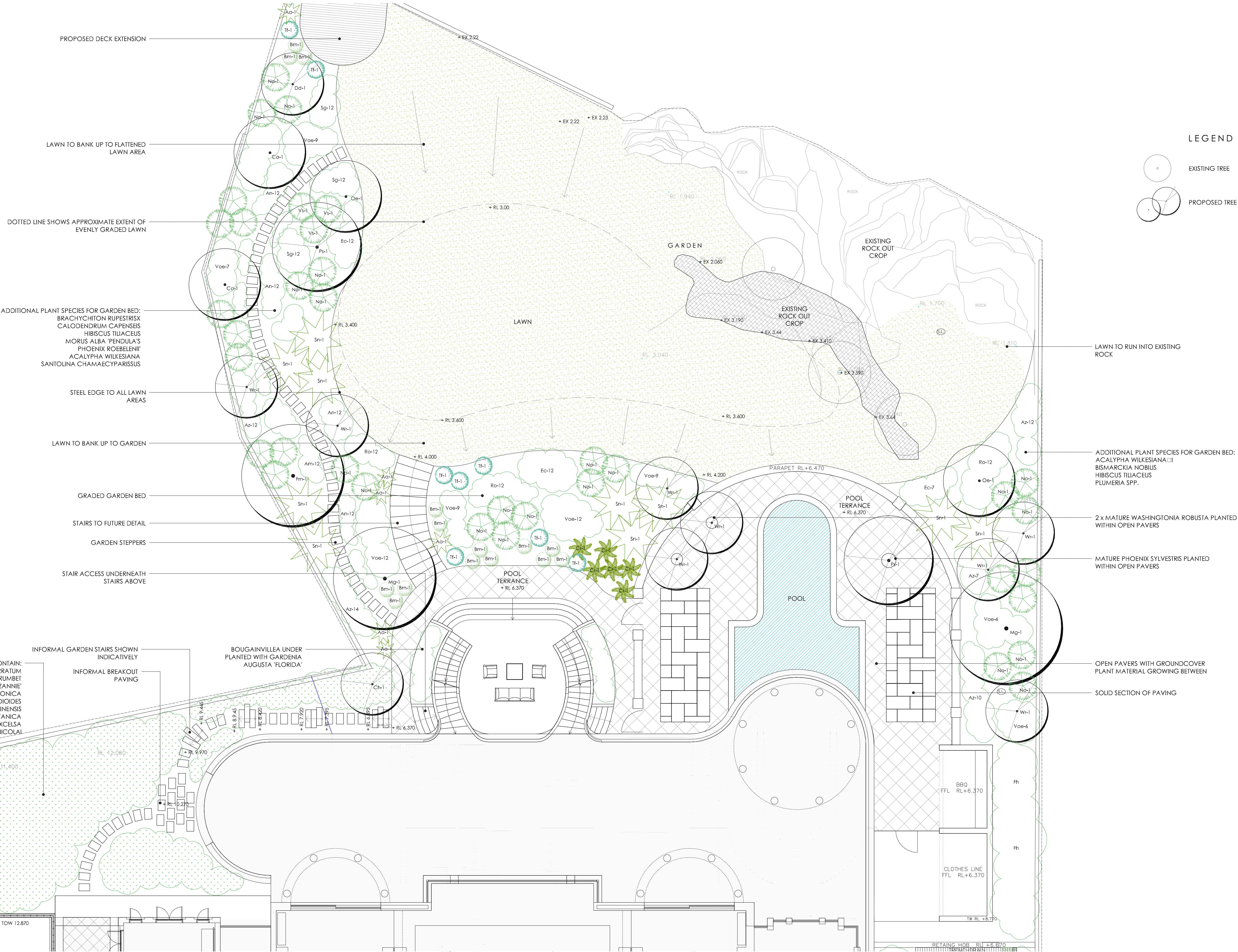
REV.	DATE	DETAIL
A	16.11.16	FOR DA
B	18.11.16	FOR DA

MBD MUST BE PRESENT ON-SITE FOR THE POSITIONING OF ALL PLANTS.
CONTACT DESIGNER IF DISCREPANCIES OCCUR BETWEEN LANDSCAPE AND CONSULTANTS DOCUMENTS.
BUILDER TO CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.

DWG No: MB_CR_01
SCALE: 1:100 @ A1
DRAWN: LM

CHECKED: MB
ISSUE: B
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MYLES BALDWIN DESIGN

The Stable, 105 Lawrence St, Alexandria, Sydney, NSW, 2015, Australia
PH +61 2 9565 5529 | www.mylesbaldwin.com

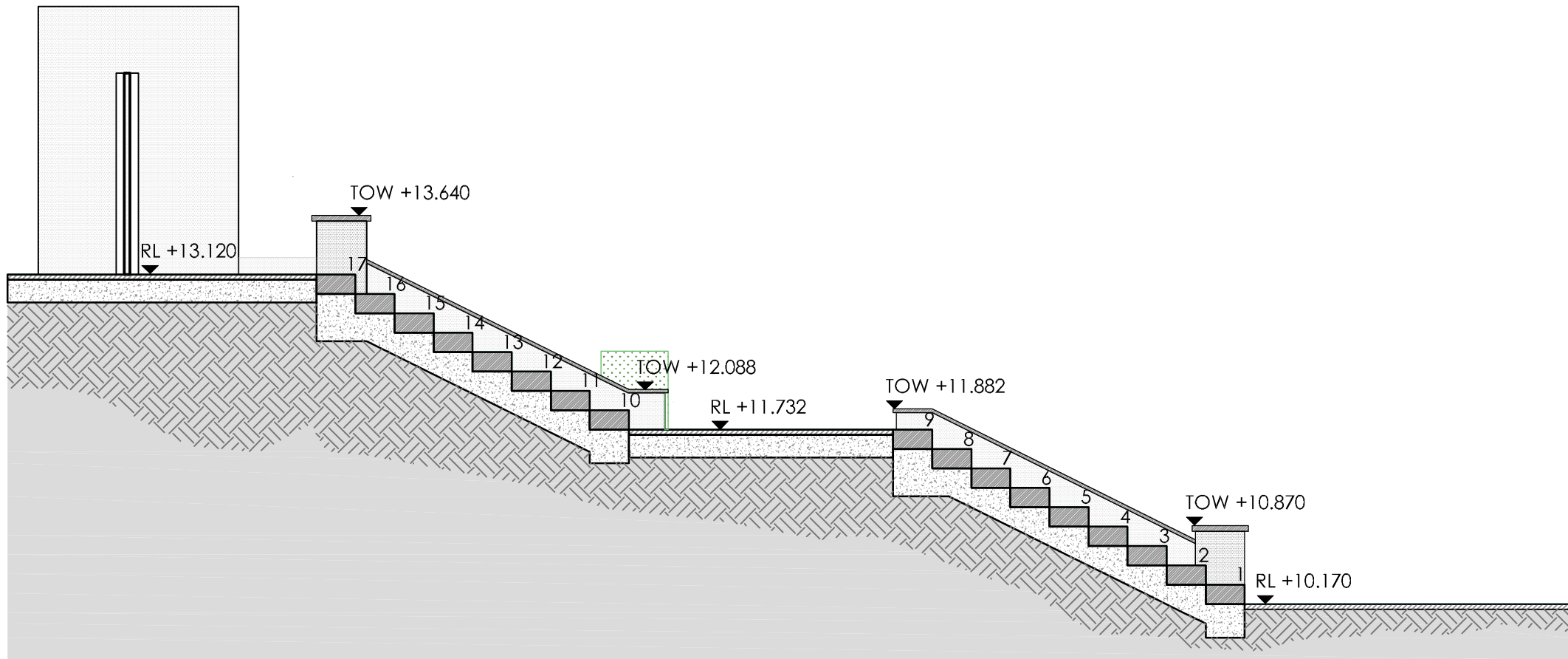
PROJECT:
COOLONG RD, VAUCUSE

CLIENT:
KAMENEV

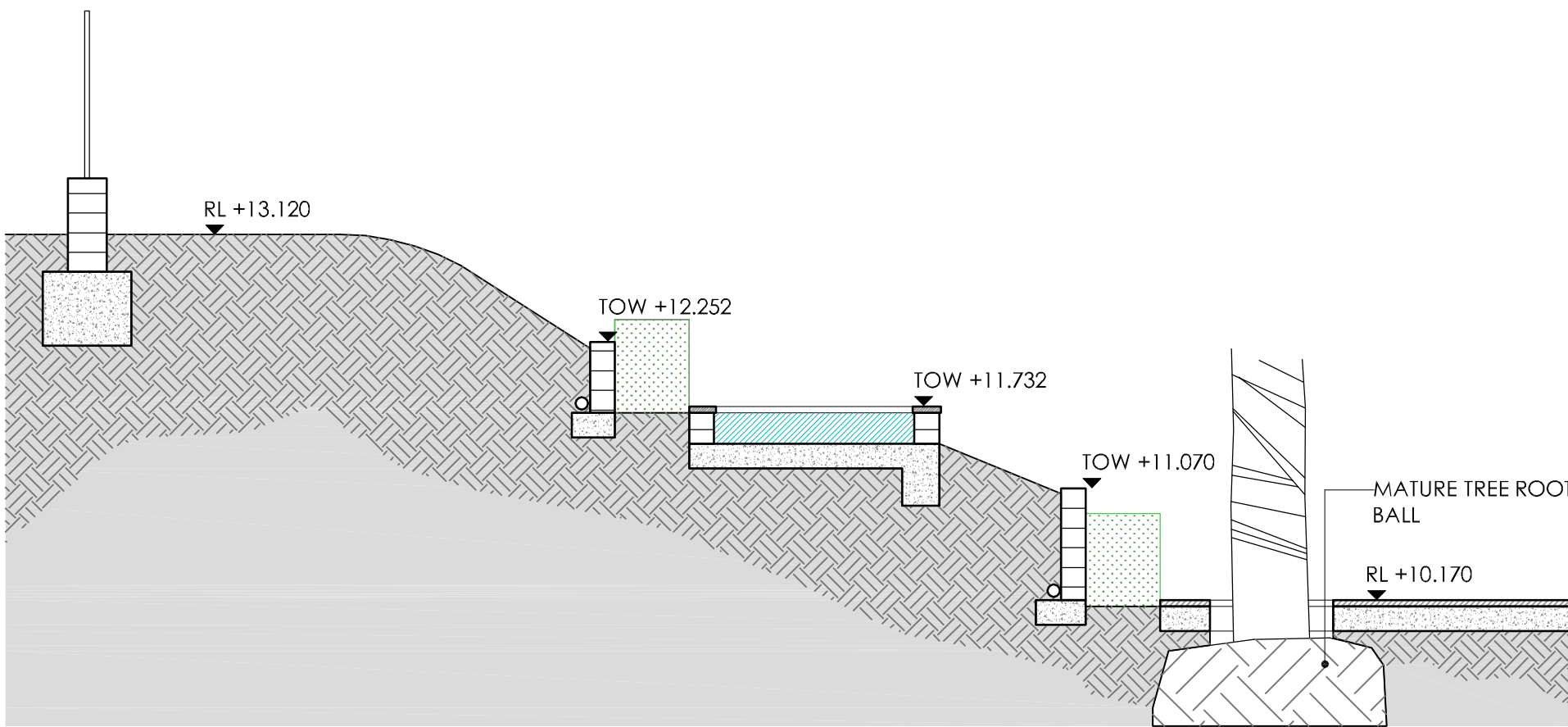
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A	16.11.16	FOR DA	
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SECTION 'A'
SCALE 1:25 @ A1



SECTION 'B'
SCALE 1:25 @ A1



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The Stable, 105 Lawrence St, Alexandria, Sydney, NSW, 2015, Australia
PH +61 2 9565 5529 | www.mylesbaldwin.com

PROJECT:
COOLONG RD, VAULCUSE

CLIENT:
KAMENEV

AMENDMENT		
REV.	DATE	DETAIL
A	13.11.16	FOR INFORMATION
B	18.11.16	FOR DA

MBD MUST BE PRESENT ON-SITE FOR THE POSITIONING OF ALL PLANTS.
CONTACT DESIGNER IF DISCREPANCIES OCCUR BETWEEN LANDSCAPE AND CONSULTANTS DOCUMENTS.
BUILDER TO CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.

DRAWING:
SECTION

DWG No: MB_CR_30
SCALE: 1:50 @ A1
DRAWN: LM
CHECKED: MB
ISSUE: B
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